



**Planning Committee**  
**Monday, 4th December, 2023 at 9.30 am**  
**in the Assembly Room, Town Hall, Saturday Market**  
**Place, King's Lynn PE30 5DQ**

**Reports marked to follow on the Agenda and/or Supplementary Documents**

1. **Index and Decisions on Applications** (Pages 2 - 164)

To consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

**Contact**

Democratic Services  
Borough Council of King's Lynn and West Norfolk  
King's Court  
Chapel Street  
King's Lynn  
Norfolk  
PE30 1EX  
Tel: 01553 616394  
Email: [democratic.services@west-norfolk.gov.uk](mailto:democratic.services@west-norfolk.gov.uk)

# Planning Committee

## 4 December 2023

Agenda Item 9

2

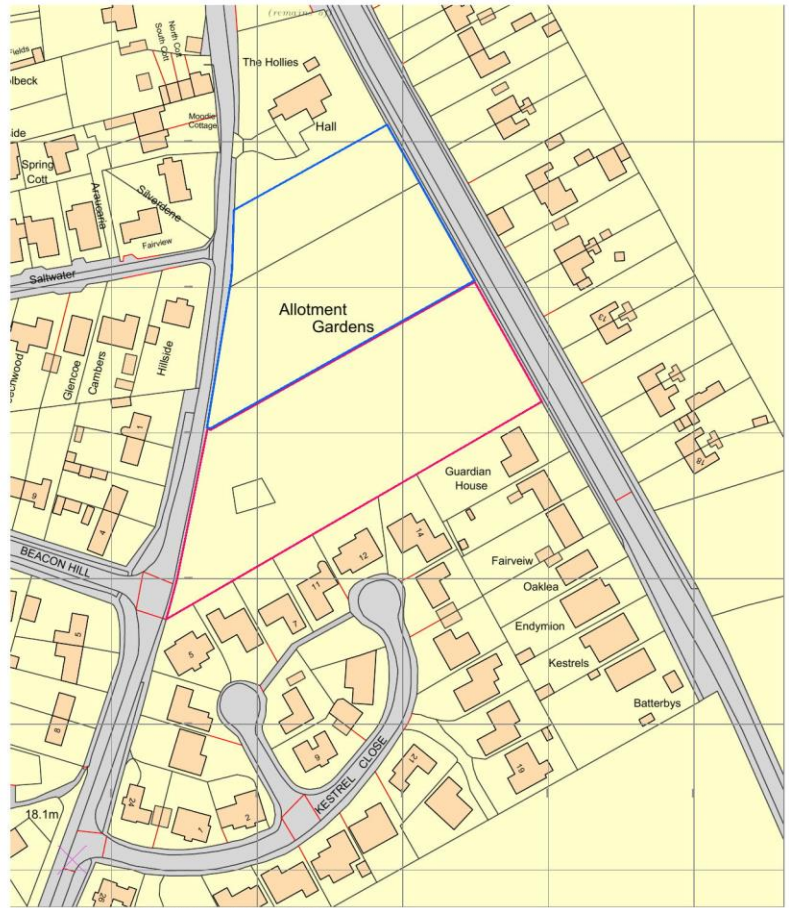


23/00496/FM

3



4



**LEGEND**

- APPLICATION SITE BOUNDARY
- OTHER LAND OWNED BY APPLICANT

0 10 20m  
 BASED ON SITE SURVEY 2022 BY RIGOUR SURVEY

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REV	DATE	CHG	AMENDMENTS	NOTES
001	15/01/2023	AW	Initial Planning Issue	

Borough Council of  
**King's Lynn &  
 West Norfolk**

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

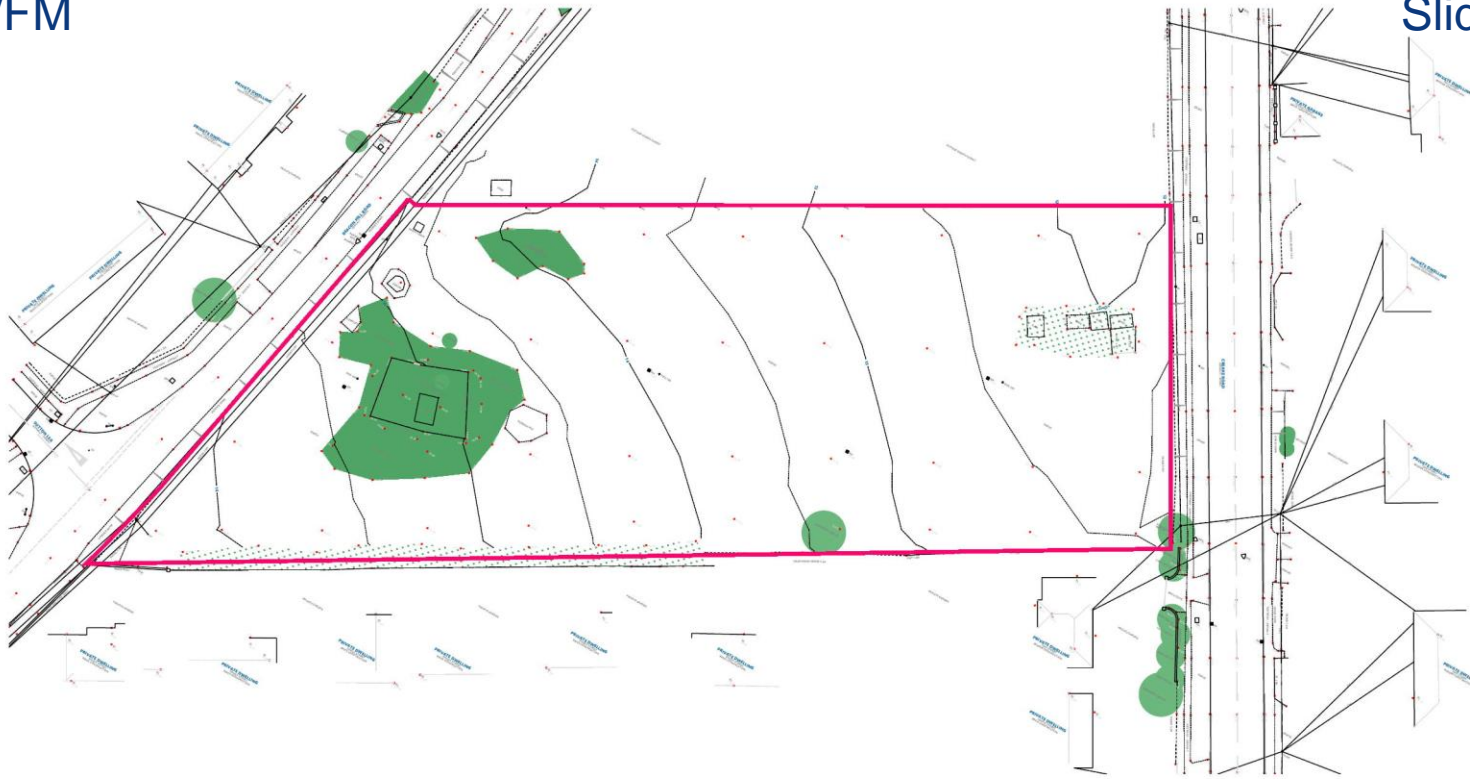
**Feilden+mawson**  
 Feilden + Mawson Limited, London EC1A 3BB  
 15 Abchurch Lane, London EC4A 3DF  
 15 Abchurch Lane, London EC4A 3DF  
 15 Abchurch Lane, London EC4A 3DF

CLIENT  
**Holkham**  
 208  
 Creake Road Burnham Market

DRAWING			
SCALE	DATE	DATE	DATE
1:1250	02/2023		
JOB NO. <b>9645</b>			
AW	001	001	001

Information provided by King's Lynn & West Norfolk Borough Council. The Council is not liable for any errors or omissions in this document.

5



LEGEND  
 — APPLICATION SITE BOUNDARY

0 5 10 20m  
 BASED ON SITE SURVEY 2022 BY RIGOUR SURVEY

REV	DATE	CHG	AMENDMENTS	NOTES
001	15.03.2023	AM	Initial Planning Issue	

29°

Borough Council of  
**King's Lynn &  
 West Norfolk**

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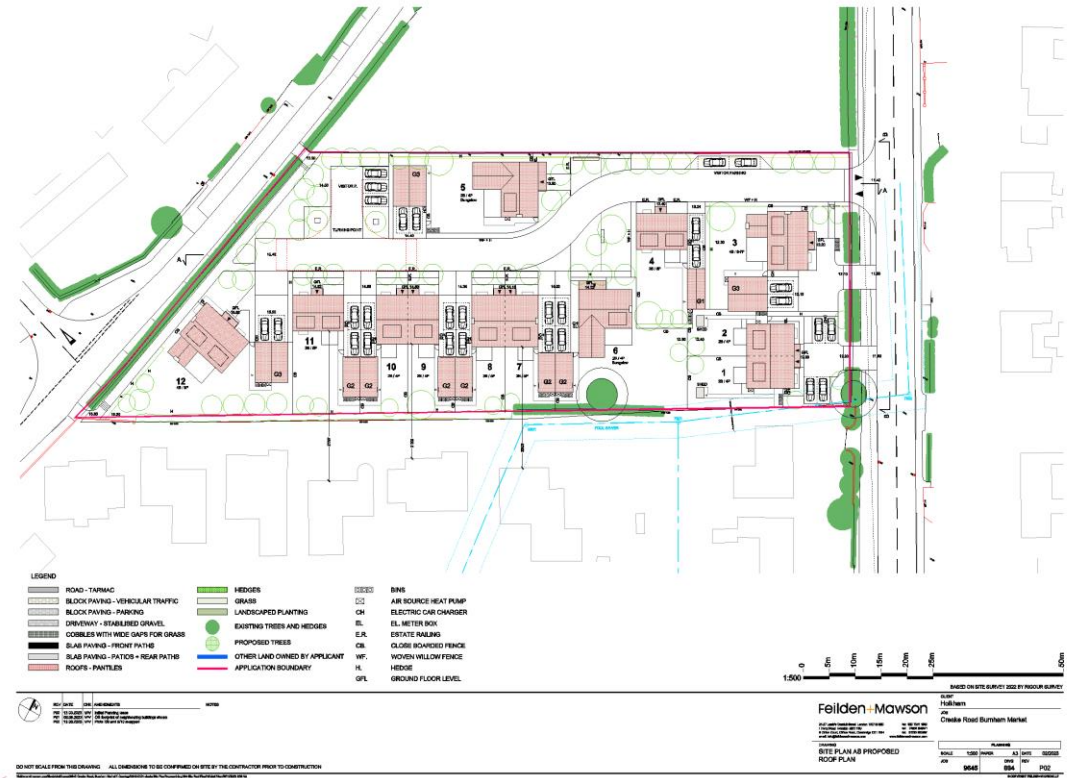
**Feilden+Mawson**  
 21 Colchester Road, Norwich, Norfolk NR1 2AA  
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CLIENT  
**Holkham**  
 206  
 Creake Road  
 Burham Market

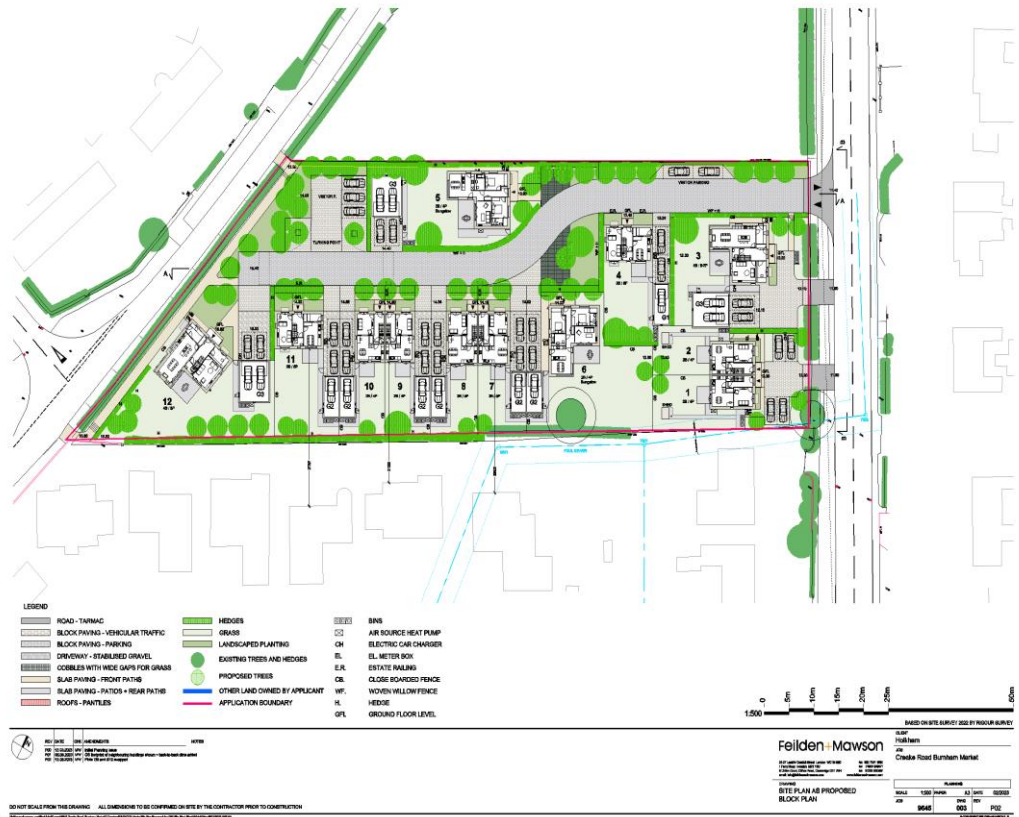
DRAWING				PLANNING			
SITE PLAN AS EXISTING	SCALE	1:500	PAPER	A3	DATE	02/2023	
	JOB	9645	DWG	002	REV		POO

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9



7





8





6



10

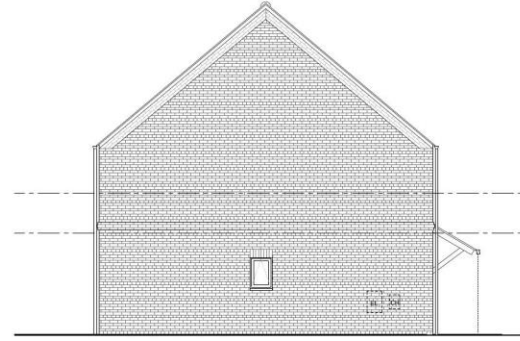


11





STREET ELEVATION

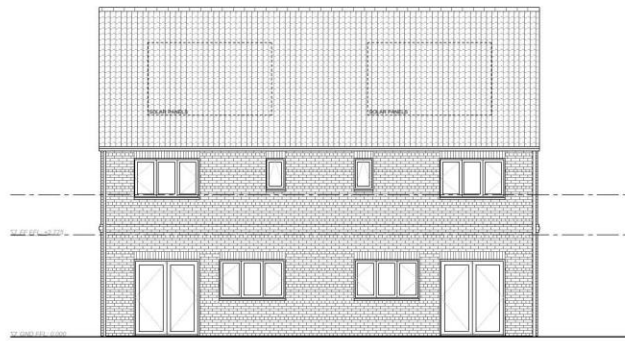


SIDE ELEVATION

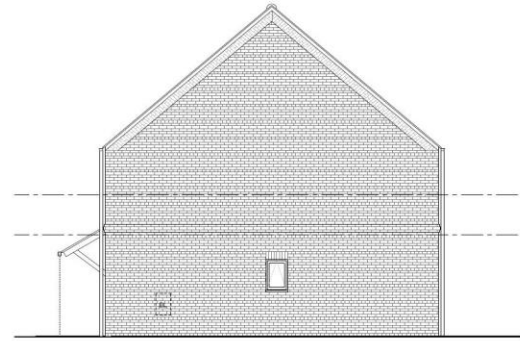
**MATERIALS LEGEND:**

NORFOLK RED  
COLOURED MORTAR  
LAID TO COMMON  
BRICK BOND

NORFOLK NATURAL  
RED PANTILES



GARDEN ELEVATION



SIDE ELEVATION

12

**PLOT 1, 2**  
**2B / 4P SEMI-DETACHED**

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12/11/2023	MM	Final Planning/Permit	
002	12/11/2023	MM	Final Planning/Permit	
003	12/11/2023	MM	Final Planning/Permit	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

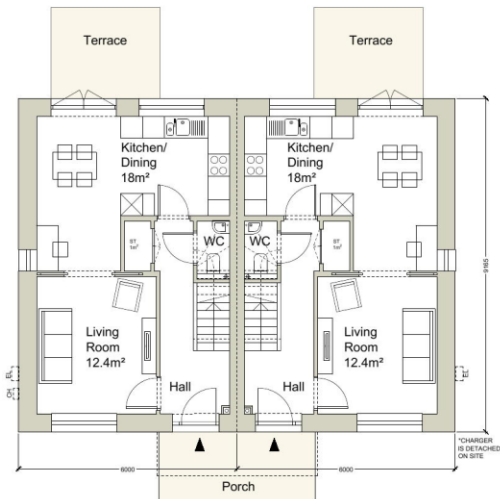


**Feilden + Mawson**

CLIENT: **Holkham**  
JOB: **2B / 4P SEMI-DETACHED**  
ADDRESS: **Creake Road Burham Market**

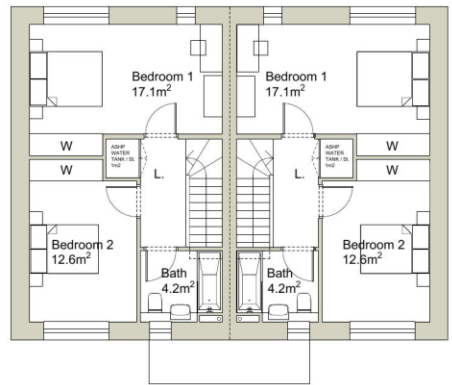
PLANNING  
SCALE: 1:100 PAPER: A3 DATE: 02/02/23  
JOB: 9645 DWG: 051 REV: P02

13



GROUND FLOOR  
43.3 sqm GIA

**PLOT 1 & 2**  
2B / 4P SEMI-DETACHED  
Total 86.8 sqm GIA



FIRST FLOOR  
43.3 sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
001	13.10.2023	MW	Initial Planning Issues	
002	13.09.2023	MW	Minor amendments to floor plan	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

**Feilden + Mawson**

CLIENT: **Holkham**  
JOB: **Creake Road Burgham Market**

PLANNING  
SCALE: 1:100 PAPER: A3 DATE: 02/2023  
JOB: **9645** REV: **050** P01



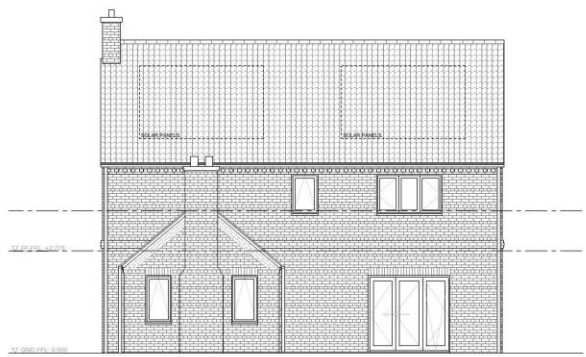
STREET ELEVATION



SIDE ELEVATION

**MATERIALS LEGEND:**

- NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
- FLINT
- NORFOLK NATURAL RED PANTILES
- TIMBER CLADDING



GARDEN ELEVATION



SIDE ELEVATION

14

**PLOT 3**  
4B / 6-7P DETACHED

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12.11.2023	MM	Final Plans/Issues	
002	12.12.2023	MM	Revised Plans/Issues	
003	22.02.2024	MM	Revised Plans/Issues	
004	05.07.2024	MM	Final revision of all drawings	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



**Feilden Mawson**

CLIENT: **Holkham**  
JOB: **Creake Road Burmah Market**

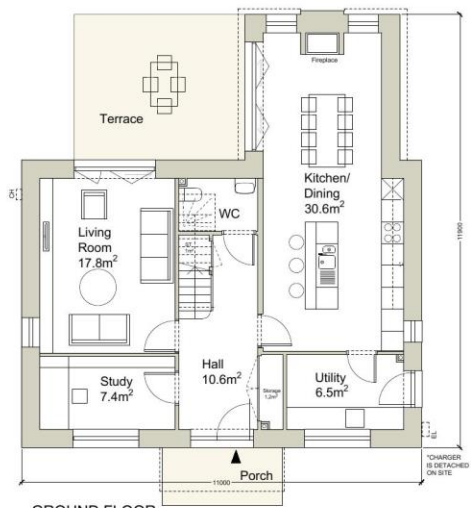
117, 118 & 119, Market Street, King's Lynn, Norfolk PE36 3BS  
01553 832111  
www.feildenmawson.com

ISSUING: **PLOT 3 Elevations**

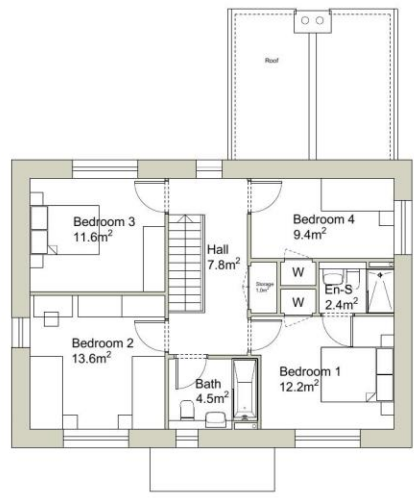
SCALE	DATE	REV
1:100	02/2023	001
1:100	05/2024	003

JOB: **9645** DATE: **02/2023**

15



GROUND FLOOR  
82sqm GIA



FIRST FLOOR  
69sqm GIA

**PLOT 3**  
4B / 6-7 P DETACHED  
Total 151sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.10.2023	MM	Initial Planning Stage	
REV 2	12.10.2023	MM	Minor Alterations to Foundation	
REV 3	12.10.2023	MM	CF Final amendments to design	

Borough Council of  
**King's Lynn &  
West Norfolk**

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

**Feilden + Mawson**

CLIENT: **Holkham**  
JOB: **Creake Road Burnham Market**

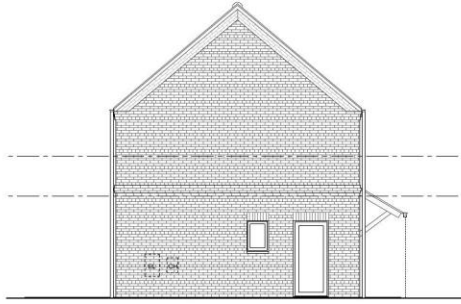
125-126, Colchester Road, Colchester, Essex, CO1 1JH  
0206 300 3000  
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DRAWING			
SCALE	PAPER	A3	DATE
1:100			02/2023
JOB			
9645	052		P02











STREET ELEVATION



SIDE ELEVATION

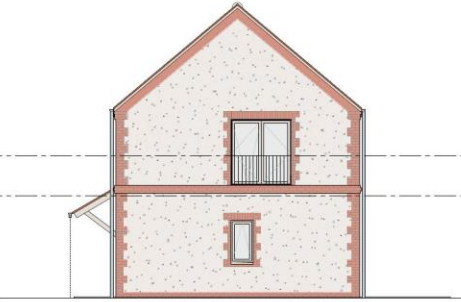
MATERIALS LEGEND:

-   NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
-   FLINT
-   NORFOLK NATURAL RED PANTILES
-   TIMBER CLADDING

16



GARDEN ELEVATION



SIDE ELEVATION

**PLOT 4**  
3B / 5P DETACHED

REV	DATE	CHK	AMENDMENTS	NOTES
001	14.11.2023	MM	Final Plans/Drawings	
002	15.11.2023	MM	Revised to approved B1 aspect	
003	20.11.2023	MM	Structures highlighted. Note on mortar amended.	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



**Feilden + Mawson** ARCHITECTS

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 01553 810000  
 www.feildenmawson.com

CLIENT: **Holkham**  
 JOB: **Creake Road Burnham Market**

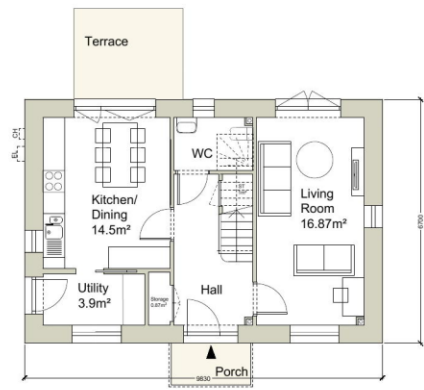
DRAWING: **PLOT 4 Elevations**

SCALE	DATE	REV	DATE
1:100	PAV23	A3	02/2023
	055		
	055		

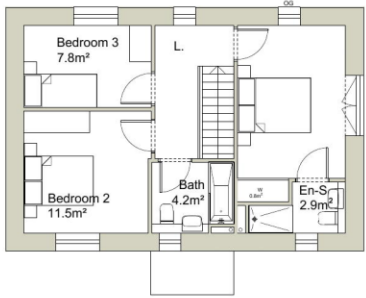
JOB: **9645** REV: **055** P03



17



GROUND FLOOR  
50.3 sqm GIA



FIRST FLOOR  
50.3 sqm GIA

**PLOT 4**  
3B / 5P DETACHED  
Total 100.6 sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.08.2023	MM	Final Planning Consent	
REV 2	12.08.2023	MM	Local Authority SET report	
REV 3	28.08.2023	MM	Minor amendments to specification	

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**Feilden + Mawson**

CLIENT: **Holkham**  
JOB: **Creake Road Burgham Market**

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15, Colney Heath Road, Colney Heath, Norwich, Norfolk, NR1 2AA  
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01603 766000  
01603 766001  
01603 766002

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023	JOB	REV
02/2023	054		P02

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17 (2023) P21 - 01/2023  
STREET ELEVATION



SIDE ELEVATION

**MATERIALS LEGEND:**

- NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
- FLINT
- NORFOLK NATURAL RED PANTILES

18



17 (2023) P21 - 01/2023  
GARDEN ELEVATION



SIDE ELEVATION

**PLOT 5  
2B / 4P BUNGALOW**

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12.11.2022	MM	Final Plans/Drawings	
002	12.11.2022	MM	Revised window and door	Additional notes on site
003	28.08.2022	MM	Additional notes on BT window	Additional note on canopy. Note on mortar amended.

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



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 17-19, Market Street, Norwich, Norfolk, NR1 1JF  
 01603 250000  
 www.feilden-mawson.com

**CLIENT**  
 Holkham  
 2B  
 Create Road Burham Market

**DRAWING**  
 PLOT 5  
 Elevations

**SCALE** 1:100  
**JOB** 9645  
**DATE** 02/2023  
**REV** 057  
**PG** P03

19



**PLOT 5**  
 2B / 4P BUNGALOW  
 GROUND FLOOR  
 Total 78.8sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
001	12.10.2022	MM	Initial Floor Plan/Draw	
002	12.10.2022	MM	Minor Revise only/Draw	
003	12.10.2022	MM	Minor amendments to be implemented	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Borough Council of  
**King's Lynn &  
 West Norfolk**

**Feilden + Mawson**

CLIENT: **Holkham**  
 JOB: **Creake Road Burgham Market**

125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

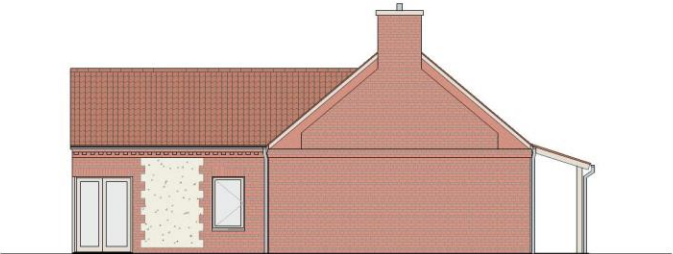
DRAWING: **PLOT 5**  
 Floor Plans

PLANNING			
SCALE	1:100	PAPER	A3
DATE	02/2023	JOB	9645
REV	056	REV	P02

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STREET ELEVATION



SIDE ELEVATION

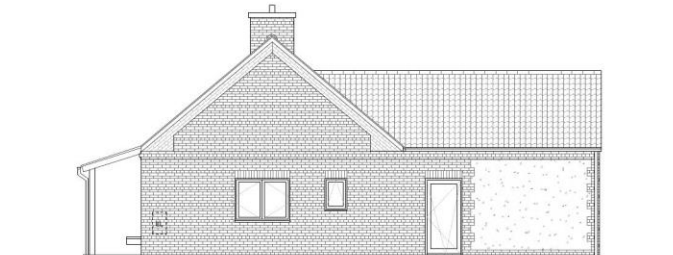
**MATERIALS LEGEND:**

-   NORFOLK RED COLOURED MORTAR LAID TO COMMON BRICK BOND
-   FLINT
-   NORFOLK NATURAL RED PANTILES

20



GARDEN ELEVATION



SIDE ELEVATION

**PLOT 6**  
2B / 4P BUNGALOW

REV	DATE	CHKD	AMENDMENTS	NOTES
001	23.03.2023	MM	Final Plans/Drawings	
002	23.03.2023	MM	Revised Plans/Drawings	
003	23.03.2023	MM	Additional notes to be added	
004	23.03.2023	MM	Additional notes to be added	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



**Feilden + Mawson**

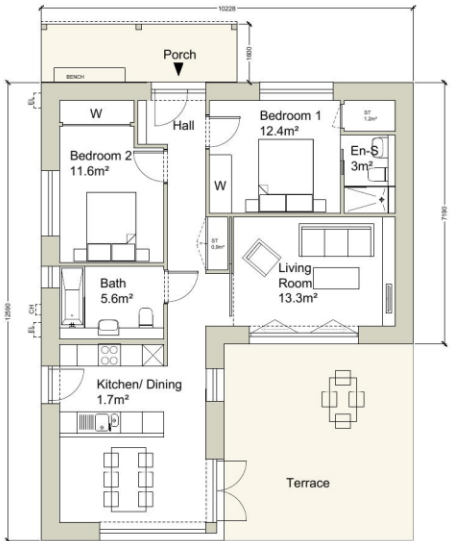
CLIENT: **Holkham**  
JOB: **Creake Road Burgham Market**

DRAWING: **PLOT 6 Elevations**

SCALE: 1:100  
JOB: **9645**  
DATE: **02/2023**

REV: **005**  
REV: **006**  
REV: **007**  
REV: **008**  
REV: **009**  
REV: **010**  
REV: **011**  
REV: **012**  
REV: **013**

21



**PLOT 6**  
 2B / 4P BUNGALOW  
 GROUND FLOOR  
 Total 75sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.08.2022	MM	Final Floor Plan	
REV 2	12.08.2022	MM	Minor alterations to floor plan	
REV 3	12.08.2022	MM	Minor alterations to floor plan	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION

Borough Council of  
**King's Lynn &  
 West Norfolk**

**Feilden + Mawson**

CLIENT: **Holkham**  
 JOB: **Creake Road Burgham Market**

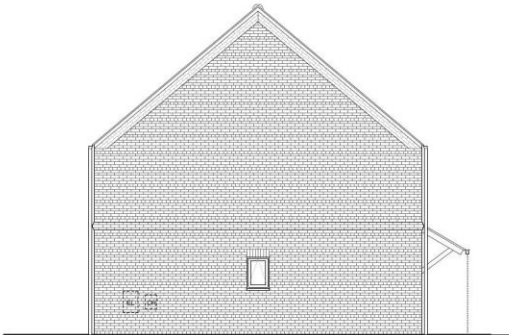
112-114, Market Street, King's Lynn, Norfolk PE30 1JF  
 01553 835771  
 www.feildেন+mawson.com

DRIVING: **PLOT 6**  
 Floor Plans

PLANNING			
SCALE	DATE	REV	DATE
1:100	PAV23	A3	02/03/23
JOB	9645	058	REV
			P02



STREET ELEVATION



SIDE ELEVATION

**MATERIALS LEGEND:**

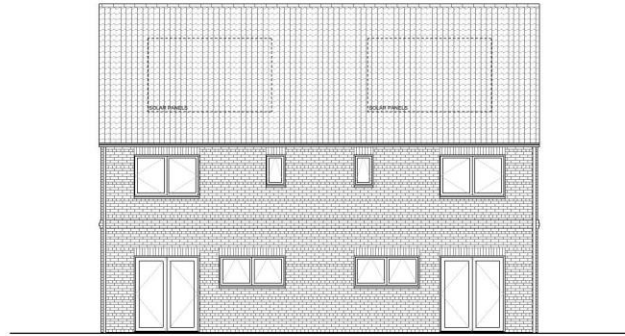


NORFOLK RED  
LIME MORTAR  
LAID TO COMMON  
BRICK BOND

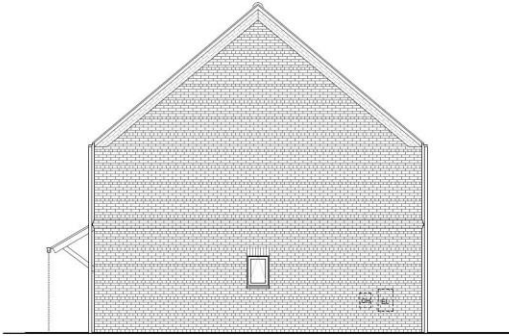


NORFOLK NATURAL  
RED PANTILES

22



GARDEN ELEVATION



SIDE ELEVATION

**PLOT 7 & 8**  
2B / 4P SEMI-DETACHED

REV	DATE	BY	AMENDMENTS	NOTES
001	15.03.2023	AM	Initial Planning Issue	

DO NOT SCALE FROM THIS DRAWING ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION



**Feilden + Mawson**

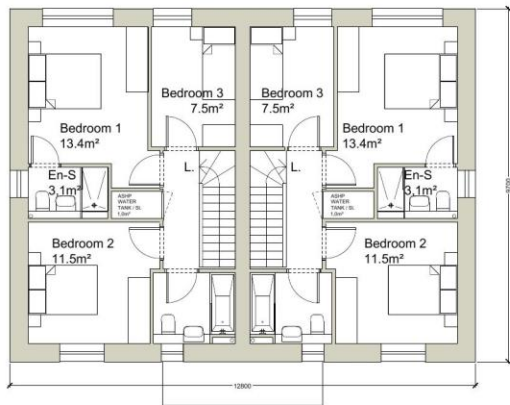
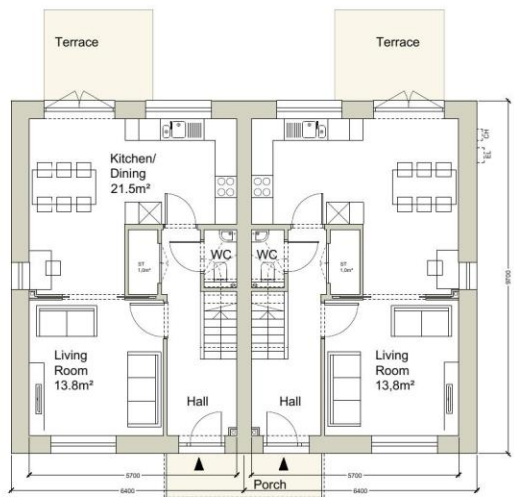
CLIENT: **Holkham**  
JOB: **2B / 4P SEMI-DETACHED**  
ON: **Creake Road Burham Market**

DRAWING: **PLOT 7 & 8 Elevations**

SCALE	1:100	PAPER	A3	DATE	02/2023
JOB	9645	DWG	REV	001	POG

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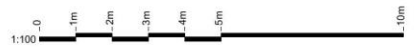
23



**PLOT 7 & 8**  
**3B / 5P SEMI-DETACHED**  
 Total 99 sqm GIA

REV	DATE	BY	AMENDMENTS	NOTES
REV 1	12.04.2023	MM	Initial Floor Plan Issue	
REV 2	12.04.2023	MM	Minor amendments with Plot 9/10	
REV 3	12.04.2023	MM	Minor amendments to landscaping	

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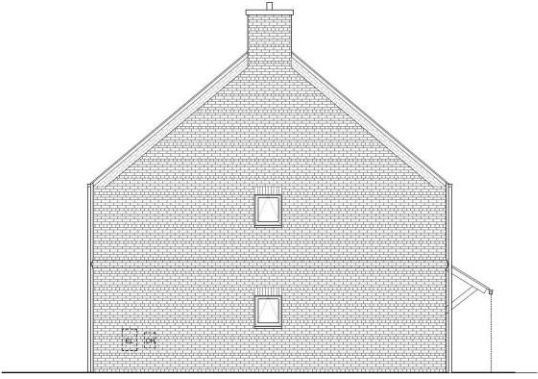
**Fellden + Mawson**  
 114-116A, Market Hill, King's Lynn, Norfolk, PE36 6BA  
 01553 812345  
 www.felldenmawson.com

**Client**  
 Holkham  
 Creake Road Burnham Market

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023		
PLANNING			
JOB	9645	APP	050
REV		REV	P02



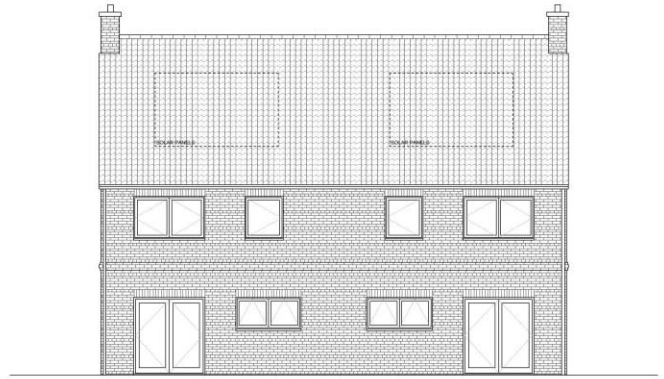
STREET ELEVATION



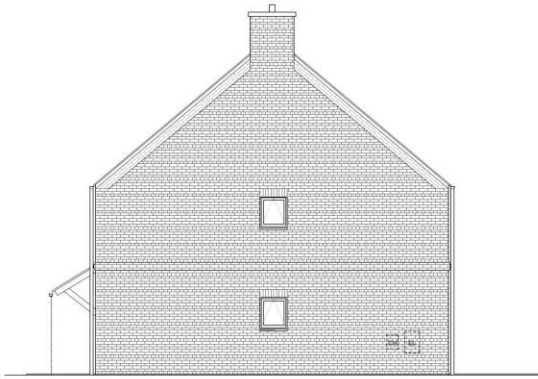
SIDE ELEVATION

**MATERIALS LEGEND:**

- NORFOLK RED  
LIME MORTAR  
LAID TO COMMON  
BRICK BOND
- FLINT
- NORFOLK NATURAL  
RED PANTILES



GARDEN ELEVATION



SIDE ELEVATION

24

**PLOT 9 & 10**  
3B / 5P SEMI DETACHED

REV	DATE	BY	AMENDMENTS	NOTES
001	15.03.2023	AM	Initial Planning Issue	

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 01603 760000  
 www.feildendmawson.com

CLIENT: **Holkham**  
 JOB: **Creake Road Burham Market**

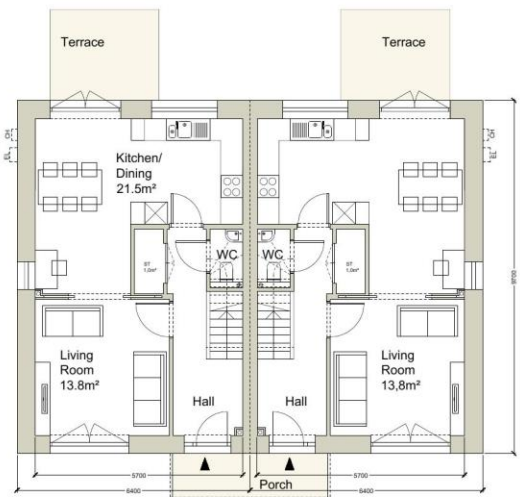
DRAWING: **PLOT 9 & 10 Elevations**

SCALE	1:100	PAPER	A3	DATE	02/2023
JOB	9645	DWG	163	REV	POG

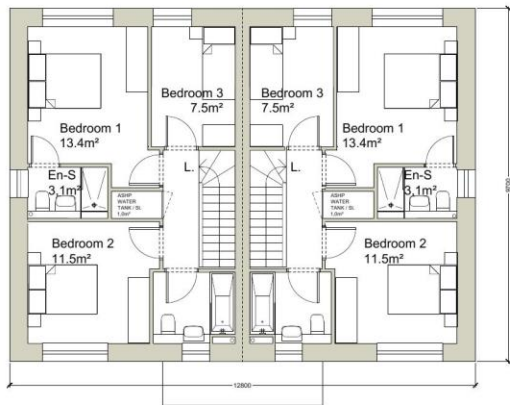
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25

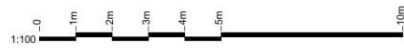


GROUND FLOOR  
49.5 sqm GIA



FIRST FLOOR  
49.5 sqm GIA

**PLOT 9 & 10**  
3B / 5P SEMI-DETACHED  
Total 99 sqm GIA



REV	DATE	CHKD	AMENDMENTS	NOTES
PRD	15.03.2023	AM	Initial Planning Issue	

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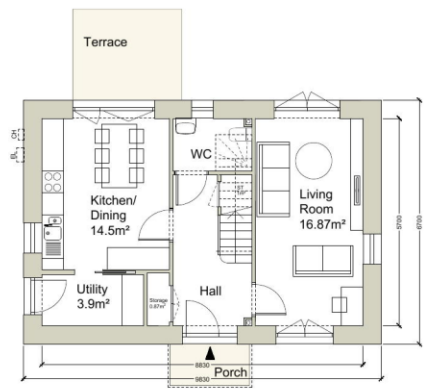
**Feilden + Mawson**  
 114-116A, Market Hill, King's Lynn, Norfolk, UK  
 01553 812345  
 www.feildenmawson.com

Client: **Holkham**  
 Job: **Creake Road Burnham Market**

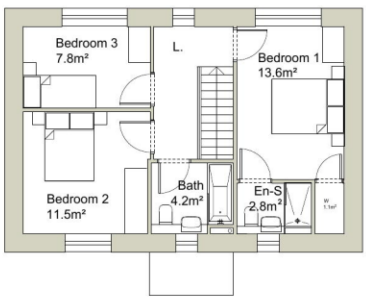
DRAWING			
SCALE	1:100	PAGES	A3
DATE	02/2023	REV	002
JOB	9645	DIS	POD



27



GROUND FLOOR  
50.3 sqm GIA



FIRST FLOOR  
50.3 sqm GIA

**PLOT 11**  
3B / 5P DETACHED  
Total 100.6 sqm GIA



REV	DATE	CHK	AMENDMENTS	NOTES
001	15.03.2023	MM	Initial Planning Issue	

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**Feilden + Mawson**

CLIENT: **Holkham**  
JOB: **Creake Road Burgham Market**

100 Waterhouse Lane, Colchester, Essex, CO1 1JF, UK  
 0206 749200  
 0206 749201  
 www.feildenmawson.com

0206 749200  
 0206 749201  
 www.feildenmawson.com

DRAWING			
SCALE	1:100	PAPER	A3
DATE	02/2023	JOB	9645
REV	064	REV	P00

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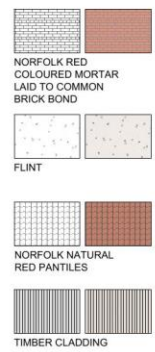


STREET ELEVATION

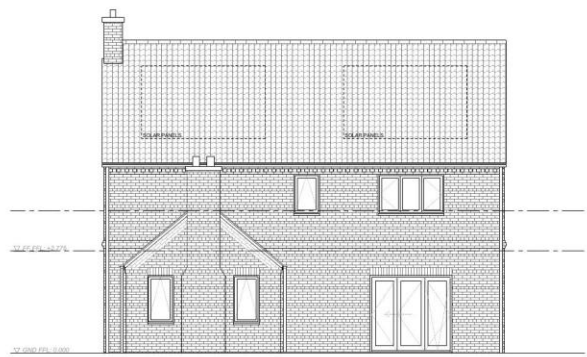


SIDE ELEVATION

MATERIALS LEGEND:



28



GARDEN ELEVATION



SIDE ELEVATION

PLOT 12  
4B / 6-7P DETACHED

REV	DATE	CHKD	AMENDMENTS	NOTES
001	12.11.2023	MM	Final Plans/Sections	
002	28.12.2023	MM	Revised Plans/Sections	Height of roof eaves reduced. Cladding specified. Note on master amended.
003	05.07.2024	MM		Ground floor windows front elevation changed.

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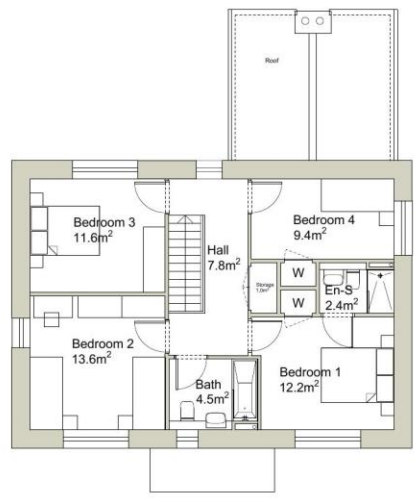
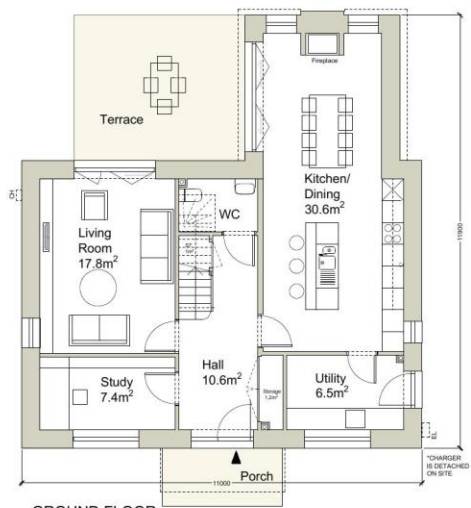
**Feilden + Mawson** CLIENT: Holkham  
JOB: Create Road Burmah Market

125 Colney Heath Road, Norwich, Norfolk NR6 7BA  
01603 260000  
www.feildenmawson.com

01603 260000  
01603 260001  
01603 260002

DRAWING			
SCALE	DWG	DATE	REV
1:100	PAVKS	A3	02/2023
JOB	9645	DWG	087
		REV	P03

29



**PLOT 3+12**  
**4B / 6-7P DETACHED**  
**Total 151sqm GIA**



REV	DATE	CHK	AMENDMENTS	NOTES
REV 1	12.11.2023	MM	Initial Planning Stage	
REV 2	12.11.2023	MM	Minor alterations to landscaping	
REV 3	12.11.2023	MM	CP Work and minor changes	

Borough Council of  
**King's Lynn &  
 West Norfolk**

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CLIENT: **Holkham**  
 JOB: **Creake Road Burnham Market**

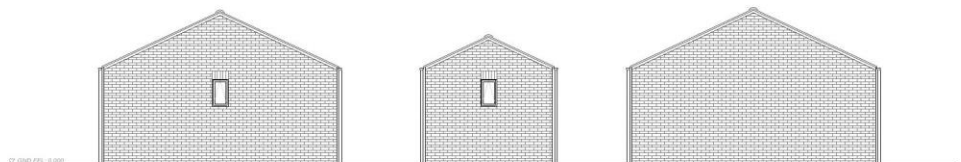
DRAWING: **PLANNING**  
 PLOT 12  
 Floor Plans

SCALE	1:100	PAPER	A3	DATE	02/2023
JOB	9645	REV	066	REV	P02



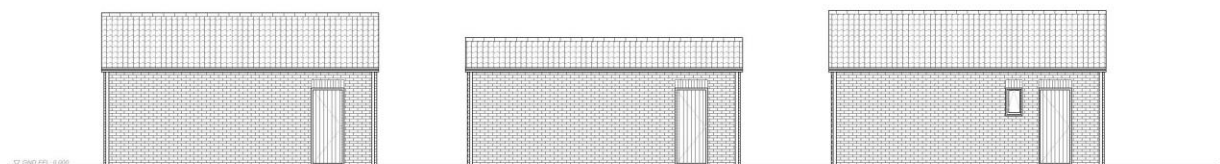
G3 (Plot 3, 5, 12)      G1 (Plot 4)      G2 (Plot 6, 8, 10)      G2 (Plot 7, 9, 11)

FRONT ELEVATIONS



G3      G1      G2

REAR ELEVATIONS



G3      G1      G2

SIDE ELEVATIONS

**MATERIALS LEGEND:**

NORFOLK RED  
COLOURED MORTAR  
LAID TO COMMON  
BRICK BOND

NORFOLK NATURAL  
RED PANTILES

30



REV	DATE	CHKD	AMENDMENTS	NOTES
001	23/11/2023	MM	Final Plans/Drawings	
002	23/11/2023	MM	Revised Plans/Drawings	
003	23/11/2023	MM	Revised Plans/Drawings	

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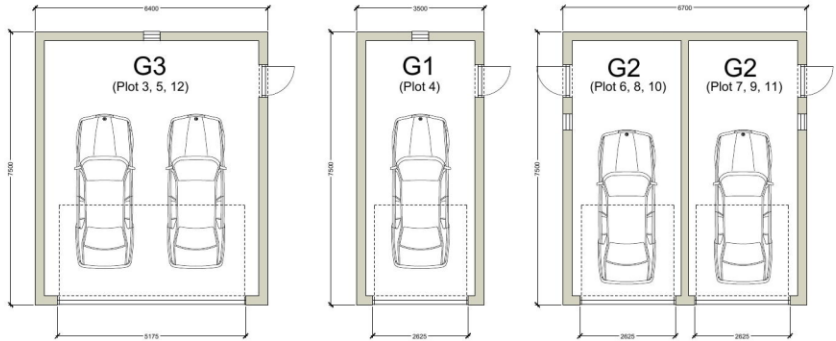
CLIENT: **Holkham**  
JOB: **Creake Road Burham Market**

DRAWING: **GARAGES Elevations**

SCALE: 1:100    PAPER: A3    DATE: 02/03/23

JOB: **9645**    DES: **069**    REV: **P02**

31



REV	DATE	CHK	AMENDMENTS	NOTES
PRJ	15.03.2023	MM	Initial Planning Issue	

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**Feilden+Mawson**  
 1st Floor, 100-102, Victoria Road, King's Lynn, Norfolk, PE30 1JL  
 Tel: 01553 835271  
 Email: info@feildenmawson.com

CLIENT: **Holkham**  
 JOB: **Creake Road Burham Market**

DRAWING			
SCALE	PAPER	DATE	DATE
1:100	A3	02/2023	
JOB		REV	POG
9645		068	

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32

East boundary of site, view towards Village Hall





East boundary of site, view south along Creake Road



Neighbouring dwelling at Creake Road



West boundary of site, view towards Allotments/Village Hall



View along Beaconhill Road towards Kestrel Close



37

Houses opposite Beaconhill Road



SS

View from Allotments towards the site



Bungalows at Kestrel Close



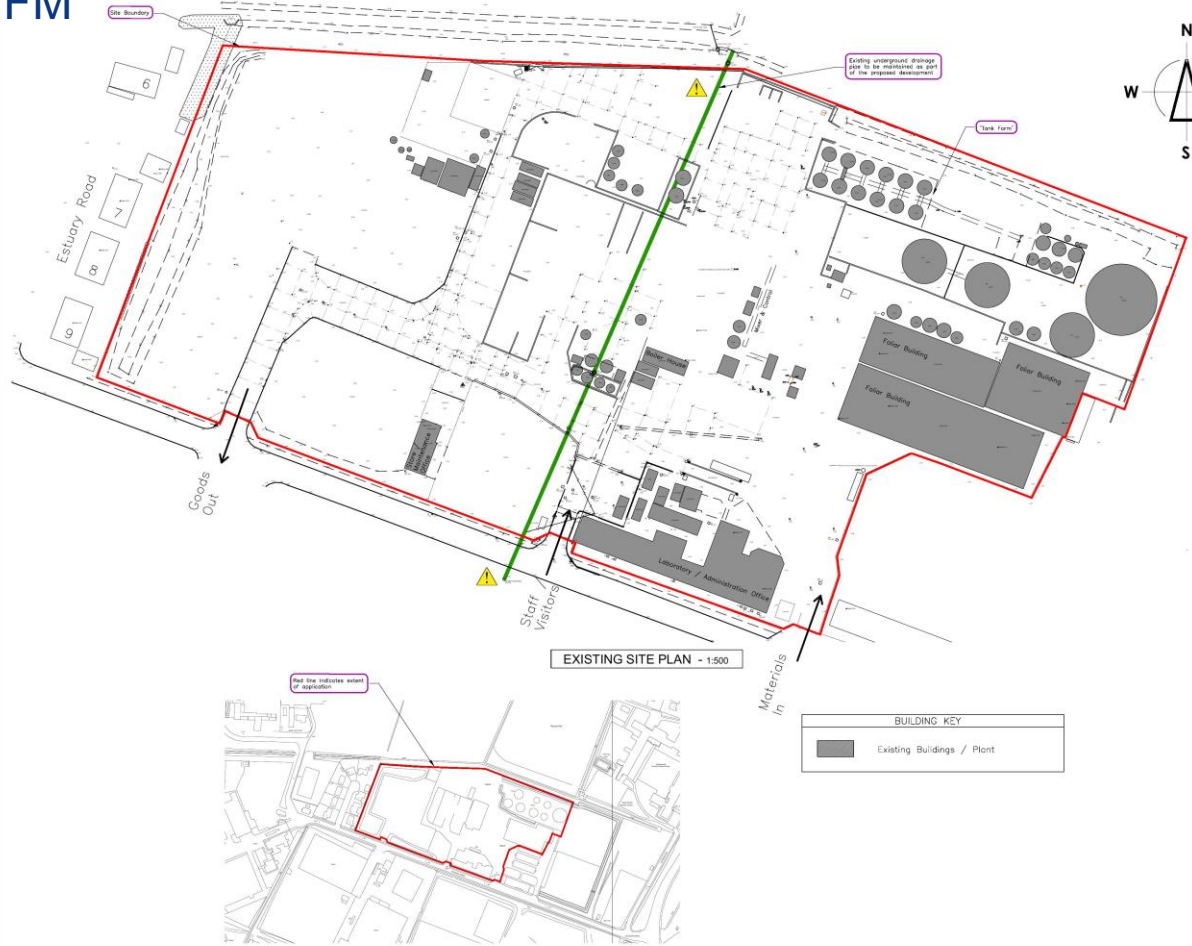
Bungalows at Kestrel Close



23/00735/FM

41

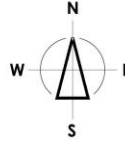




EXISTING SITE PLAN - 1:500

EXISTING LOCATION PLAN - 1:2500

BUILDING KEY	
	Existing Buildings / Plant



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NO.	DESCRIPTION	DATE	BY	CHKD	DATE
-	ISSUED FOR PLANNING APPROVAL	09/08/22	MMB	MMB	09/08/22

SCALE: 1:500, 1:2500 @ A1

CLIENT: OMEX AGRICULTURAL LTD

PROJECT: PROPOSED FOLIAR FACILITY, ESTUARY ROAD, KING'S LYNN, PE30 2HH

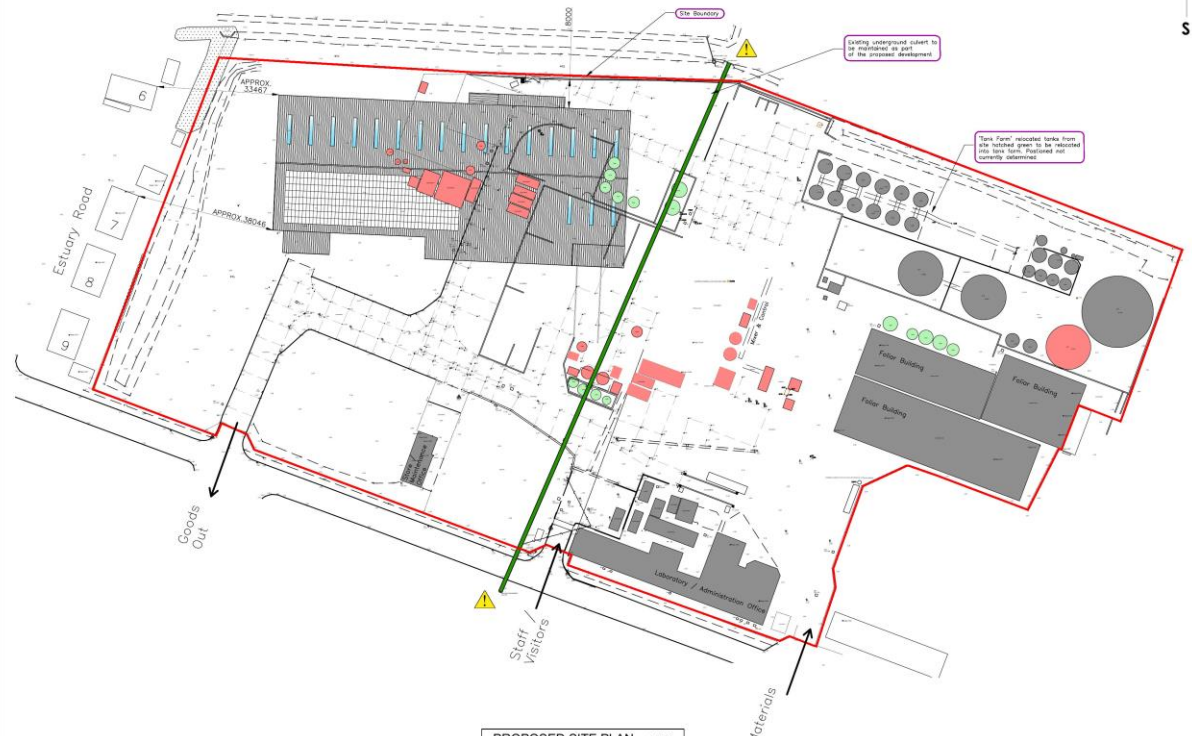
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<input type="checkbox"/> BUILDING REGS	<input type="checkbox"/> TENDER BIDD
<input type="checkbox"/> WORKING DRAWING	<input type="checkbox"/> ISSUED ON COMPLETION

**CALVERT  
BRAIN &  
FRAULO**  
ARCHITECTURAL LTD

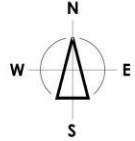
1 FORTLAND ROAD, STAMFORD LEE, LONDON, E9 6JH  
TEL: 0203 7622 000 FAX: 0203 7622 000 WWW: C.B.A.-C.COM

DRAWING NO.	REV.
220945 / 10 / 01	-



PROPOSED SITE PLAN - 1:500

BUILDING KEY	
	Existing Buildings / Plant to remain
	Existing Buildings / Plant to be removed
	Existing Buildings / Plant to be relocated



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REV	DESCRIPTION	DATE
C	ISSUED FOR PLANNING APPROVAL	08/01/2023

SCALE: 1:200 @ A1

CLIENT: OMEX AGRICULTURAL LTD

PROJECT: PROPOSED FOLIAR FACILITY  
ESTUARY ROAD  
KING'S LYNN,  
PE30 2HH

DRAWING TITLE: PROPOSED SITE PLAN SHOWING BUILDINGS / PLANT TO BE REMOVED OR RELOCATED

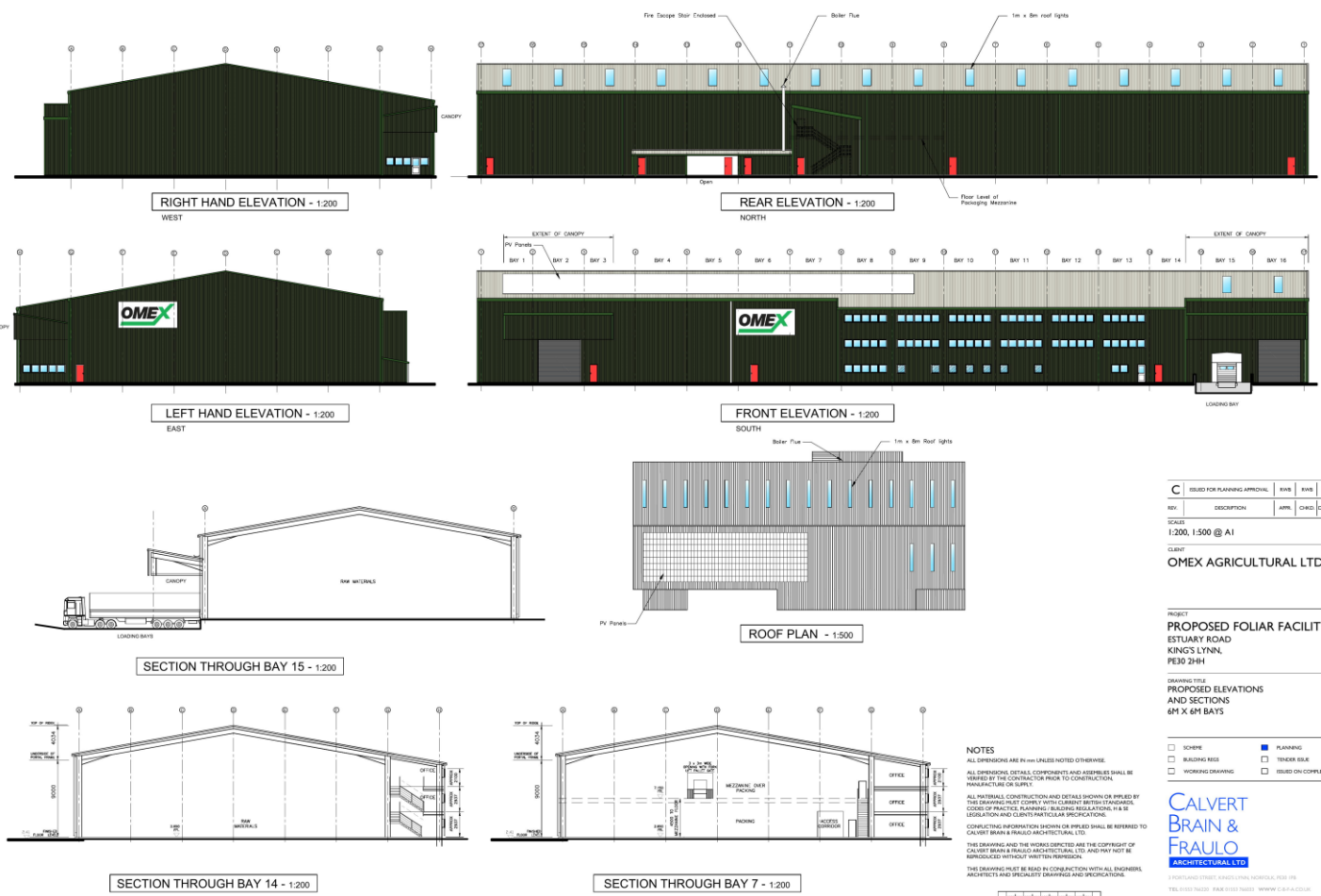
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<input type="checkbox"/>	BUILDING REGS	<input type="checkbox"/>	TENDER BLUE
<input type="checkbox"/>	WORKING DRAWING	<input type="checkbox"/>	ISSUED ON COMPLETION

**CALVERT  
BRAIN &  
FRAULO**  
ARCHITECTURAL LTD

1 FORTLAND STREET, 2ND FLOOR, LONDON, E6 6RN, UK  
TEL: 0203 7622 0000 FAX: 0203 7622 0001 WWW.CBFA.CO.UK

DRAWING NO: 220945 / 10 / 02

REV: C



44

C	ISSUED FOR PLANNING APPROVAL	REV	DATE	SAC	38/2023
REV	DESCRIPTION	APPR	DATE	DRAWN	CHEF
SCALE: 1:200, 1:500 @ A1					
CLIENT: OMEX AGRICULTURAL LTD					

PROJECT:  
**PROPOSED FOLIAR FACILITY**  
 ESTUARY ROAD  
 KING'S LYNN,  
 PE30 2HH

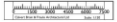
DRAWING TITLE:  
**PROPOSED ELEVATIONS  
 AND SECTIONS**  
 6M X 6M BAYS

- SCHEME
- BUILDING REGS
- WORKING DRAWING
- PLANNING
- TENDER BIDD
- ISSUED ON COMPLETION

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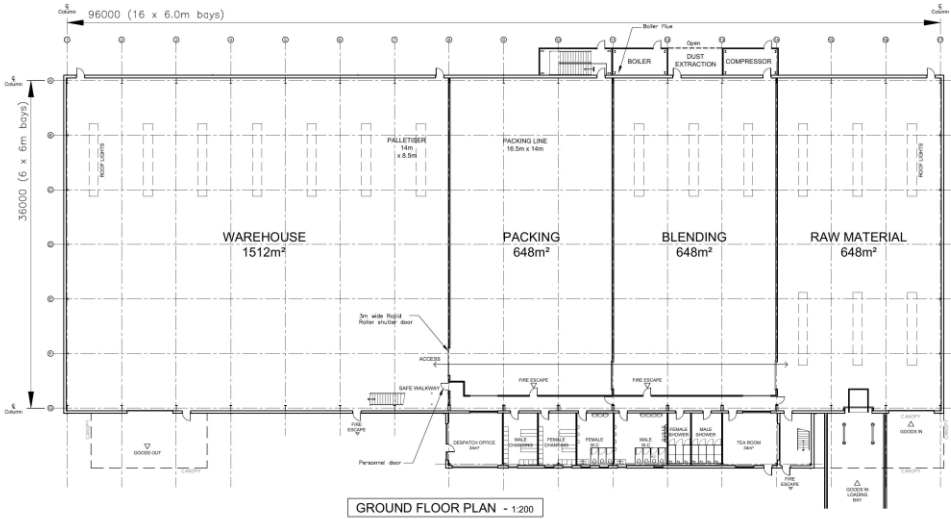
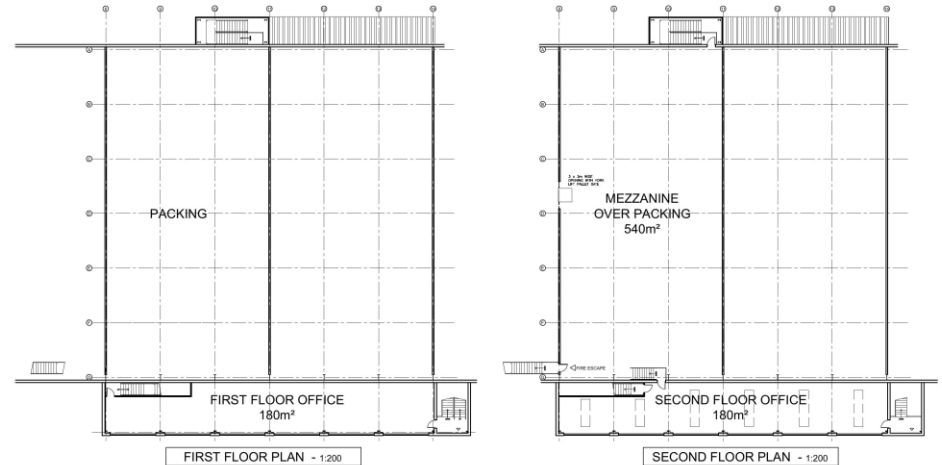
1 FORDHAM STREET, SANDHURST, BERKSHIRE RG8  
 TEL 01357 76222 FAX 01357 76221 WWW.C-B-A.CO.UK

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DRAWING NO.	REV
220945 / 10 / 03	C

45



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A	ISSUED FOR PLANNING	RHS	RHS	SAC	4/13/13
-	ISSUED FOR PLANNING APPROVAL	RHS	RHS	SAC	18/11/13
REV	DESCRIPTION	DATE	BY	CHKD	DATE

SCALE: 1:200, 1:500 @ A1

CLIENT: OMEX AGRICULTURAL LTD

PROJECT: PROPOSED FOLIAR FACILITY  
 ESTUARY ROAD  
 KING'S LYNN,  
 PE30 2HH

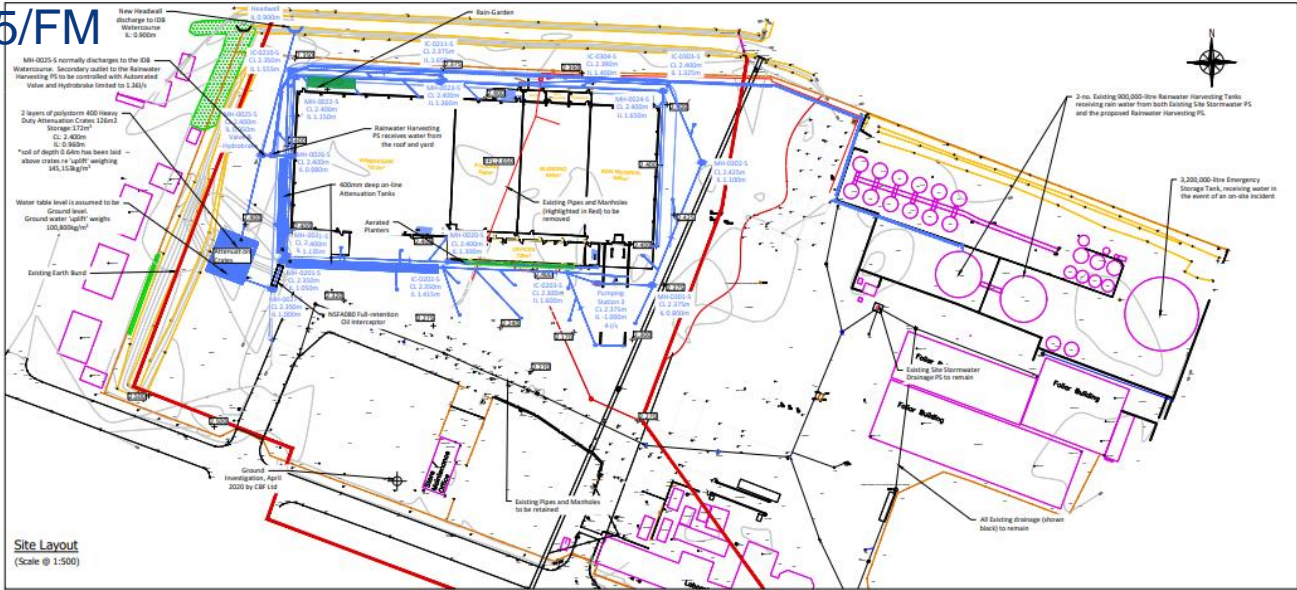
DRAWING TITLE: PROPOSED FLOOR PLANS

- SCHEME
- PLANNING
- BUILDING REGS
- TENDER BLUE
- WORKING DRAWING
- ISSUED ON COMPLETION

**CALVERT  
 BRAIN &  
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 ARCHITECTURAL LTD

1 FORTLAND STREET, KING'S LYNN, NORFOLK PE30 1PB  
 TEL 01553 76222 FAX 01553 76203 WWW.C-B-A.CO.UK

DRAWING NO:	220945 / 10 / 04	REV:	A
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Site Layout (Scale @ 1:500)

**Project Details**

The site is part of the OMEK Site located on the Northern side of Estuary Road, King's Lynn. The postcode for the site is PE30 2RH and the approximate centre of the site at National Grid Reference TF 62796 21468. The site size is less than a hectare (0.87 ha) and is located within Flood Zone 3. The site is currently brownfield land and facilities that have been decommissioned. The proposed development includes proposals for the construction of an industrial building with new yard and road as follows:

- Building (Roofs): 3840m<sup>2</sup>
- Roads and Yards: 4400m<sup>2</sup>
- Total Hardstanding area: 8240m<sup>2</sup> (Approx 95% of the Site)

Geological records indicate that the ground is a very silty Clay with occasional concrete rubble and some gravel. Infiltration not possible due to high ground water table as Ground Investigation Report on site for Proposed Commercial Building, Job No. 208250 dated April 2020, locations indicated.

**Drainage and SuDS Strategy**

As stated in CIRIA SuDS Manual 2015 the objective of sustainable drainage systems is to maximise the benefits and minimise the negative impacts of surface water runoff from developed areas. By applying SuDS methodology, storm runoff from the Site is controlled to ensure that flow rates in downstream watercourses are not increased and the water is appropriately treated to remove any contaminants, thus ensuring the quality of the water in the natural environment downstream.

**Drainage Hierarchy**

Drainage Hierarchy	Y/N	Comment
1 Infiltration to maximum extent	N	Not possible
2 Discharge to Surface Waters	Y	Discharging to the IDB watercourse
3 Discharge to Surface Water Sewer	N/A	Not Required
4 Discharge to Combined Sewer	N/A	Not Required

**Drainage and Rainwater Harvesting**

- Key project proposal: Storm drainage includes a rainwater harvesting system for use within the proposed production at the Site. All of the rainwater falling on the Site is proposed to be harvested for use on the Site and other Sites. However, to allow for plant shut-downs, the drainage system for the proposed development has been sized to accept all flows up to 1 in 100-year event +40% allowance for climate change.
- Existing Site drainage delivers stormwater to an existing Site Stormwater Drainage PS, which is to remain and is unaffected by the proposed development. This PS discharges into the existing Rainwater Harvesting Tanks.
- Stormwater from proposed yards and roads is to be collected, passed through an oil interceptor and attenuated within crates. Roof runoff is also harvested.
- The rainwater harvesting system will transfer 100% of the stormwater from the proposed development to the existing above ground Rainwater Harvesting Tanks. In the event of Plant shut-down or maintenance, a valve will automatically open to allow stormwater to discharge to the IDB Watercourse controlled to Greenfield Runoff Rates (1.36-1.6) by a Hydrobrake. Battery back-up to be provided.
- Pumping Station 3 (at Node P53) collects stormwater from proposed yard areas at end of new building and the Delivery Bay.

**Drainage Design**

The drainage system has been modelled using FEH rainfall data for storms up to 10080-min duration and 1% AEP + 40% Climate Change. No account of the Rainwater Harvesting is made in the Hydraulic Model.

**Storm drainage system performance:**

- Attenuation Volume Provided: 148m<sup>3</sup> (22m<sup>3</sup> Crates, 127m<sup>3</sup> Delivery Bay)
- Attenuation Volume used in 1 in 30 yrs storm event: 17m<sup>3</sup> (51%)
- Attenuation Volume used in 1 in 100 yrs storm event: 19m<sup>3</sup> (56%)
- Attenuation Volume used in 1 in 300 yrs storm event + 40% Climate Change: 22m<sup>3</sup> (60%)

NB: No Roofing of the Delivery Bays will occur for storm events up to 1 in 30-yr event. The Delivery Bay will be used as storage for larger events, with depth of water modelled to be <300mm under 1% AEP + 40% event

**Foul Water**

- Foul drainage from the new building will be connected to the existing foul drainage on site, which discharges to public sewer.



**Simple Pollution Index:**

Area	Pollution Index			Proposed Treatment	Pollution Mitigation Index			Residual Index		
	TSS	Metals	Hydro-Carbons		TSS	Metals	Hydro-Carbons	TSS	Metals	Hydro-Carbons
Commercial yard and delivery areas:	0.8	0.8	0.9	Oil Interceptor	0.8	1.0	1.0	0.0	0.0	0.0

**Water Quality**  
Runoff from the concrete footpaths and internal areas will be treated through an Oil Interceptor. Discharge to the IDB Watercourse would only occur if the Site is non-operational. Hence measures will be put in place to ensure the Site is non-operational. Hence measures will be put in place to ensure the Site is non-operational.

**Water Quantity**  
Once in full production, rainwater harvesting is regarded as either all of the runoff from the entire Site or from a portion of the Site. The Site is non-operational. Runoff from the development are controlled to meet the rate of infiltration, using a Hydrobrake.

**Key**

- Surface Water Polypropylene Impervious Chamber
- Private Storm Water Manhole
- Surface Water Pipeline
- Road Gully
- Roofing Eye
- Existing Pipes and Manholes to be removed
- Proposed Levels
- Attenuation Crates
- 1% Access cover
- Ground Investigation April 2020, by CR Ltd

**Notes:**

1. Do not scale this drawing other than by passing calculator program.
  2. All dimensions are in millimetres unless stated otherwise.
  3. This drawing to be read in conjunction with all other relevant drawings and specifications.
  4. All proprietary items to be related in strict compliance with manufacturers' instructions and recommendations.
- STANDARD DRAINAGE NOTES**
1. Excavate where specifically shown otherwise all below ground pipes connections shall be 150mm dia PVC to BS 4602 or VC to BS 5487 with flexible joints with seal to minimum falls of 1 in 40, except where connected to VC, where falls may be 1 in 30.
  2. All ground pipe runs to be bedded to a standing head of 150mm above the finished ground level at the head of the pipe run and extending 450mm at the lower end.
  3. For details of bed and surround requirements refer to long sections and standard details. In all other situations provide 150mm of 10mm single-sized bedding graded below ground level.
  4. Excavate where specifically shown otherwise, pipes to be a minimum of 600mm below finished ground and 600mm below gas service lines.
  5. Ventilation pipes to be provided at the head of each drain and to any drain longer than 6m where a single appliance is connected, or 12m where a group of appliances is.
  6. Stop-vents shall not be fitted in any chambers unless specified otherwise.
  7. Manhole/Gully covers shall be regulated to suit finished levels and crossfalls.
  8. All proprietary items to be installed in strict compliance with manufacturers' instructions and recommendations.
  9. Drain passing beneath buildings to have minimum 150mm granular fill on each side of the drain. Where the drain is covered in within 300mm of the underside of the slab, granular fill shall be provided in accordance with the slab.
  10. Drain passing through walls below ground level to have minimum 150mm granular fill on each side of the drain. All walls to be lined all round with rigid sheet material to prevent ingress of air or water. Concrete wall needs for pipes shall have concrete breaks to support wall construction above 150mm above finished ground level to 150mm diameter.

**STANDARD FINISHES / FOOTPATH NOTES**

1. Subgrade to be proof-rolled with one pass of a smooth-whiskered roller to ensure a maximum depth of soil of not less than 210kg or a Vibrating Foot Tamping mass per 1000mm<sup>2</sup> of not less than 750kg or a Vibrating Plate Compactor having a mass per m<sup>2</sup> of not less than 145kg. Any soft spots shall be removed and replaced with Type 1 compacted in layers not exceeding 150mm thickness.
2. All formations are to be treated with one or more applications before placing sub-base material or a geotextile separation membrane (Tensar 1000 or similar approved).
3. All sub-base material is to be non-fall susceptible. All concrete to be sulphate resistant.

Reference	Description	Issue	Date
Rev	Position Scales, Injection Tables, added to	TOP	18.05.2023
Rev	As Issued	TOP	18.05.2023
Rev	As Issued	TOP	18.05.2023

Rev	Description	Issue	Date
Rev	As Issued	TOP	18.05.2023
Rev	As Issued	TOP	18.05.2023

OMEX Agriculture Ltd

OMEX Foliar Facility

**Drainage Strategy**

Site No:	22233
Drawings No:	22233-001
Issue:	Preliminary
Date:	As Stated
Issue Date:	14-03-23
Project:	TP
Client:	OMEX
Design By:	K.P.
Checked By:	TP
Approved By:	TP



4 Angel Road, Gosport, Hampshire, PO1 2SE  
01703 762424

47



48



West boundary of the site, existing earth bund and dwellings beyond







50



51



52



Existing containers etc. to the east of the proposed site

53



54



West boundary of the site, as viewed from No. 6 Estuary Road

55



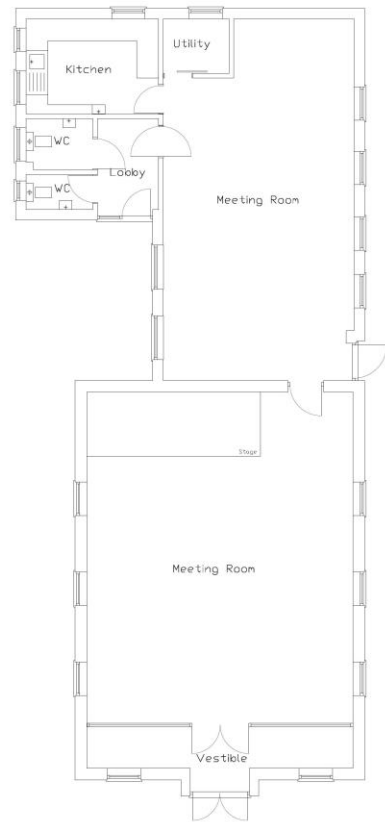
23/00805/F

56

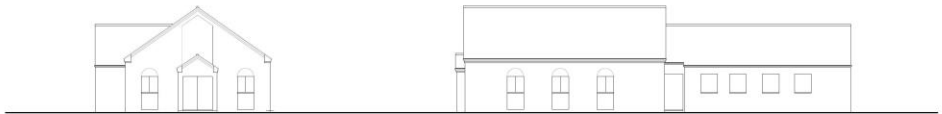




57



GROUND FLOOR PLAN 1:50.



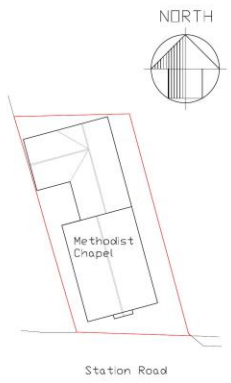
SOUTH ELEVATION 1:100.

EAST ELEVATION 1:100.

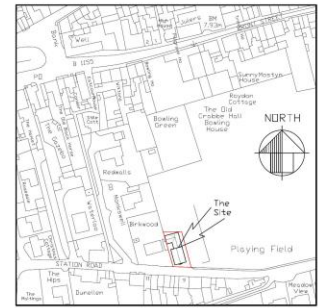


NORTH ELEVATION 1:100.

WEST ELEVATION 1:100.



SITE PLAN 1:200.



LOCATION MAP 1:1250.

0m 1m 2m 3m 4m 5m

FOR CONSTRUCTION PURPOSES Drawings to be read in strict accordance with the application. Measurements and levels to be checked on site by the contractor prior to commencement of works. Any discrepancies to be referred to the designer.

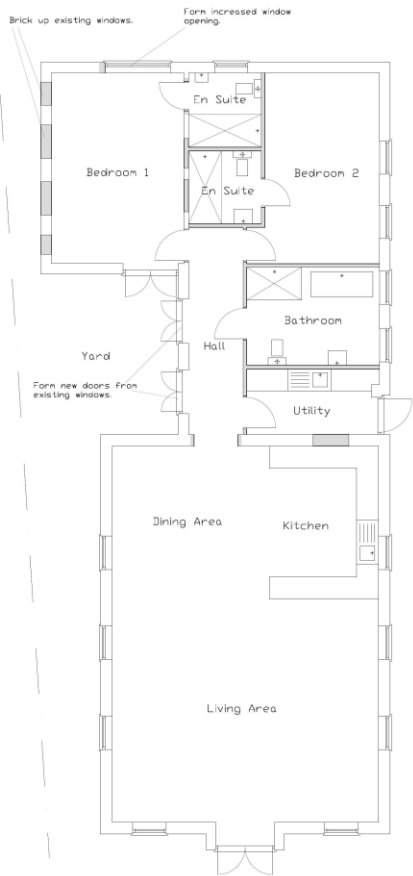
**Matt Sturgeon Ltd.**  
BUILDING CONSULTANCY  
MONEY FIELDS | BURNHAM LANE | NORTH WOOTTON  
NORFOLK | NORFOLK | IP39 3JH | 01328 670901

PROPOSED CONVERSION  
METHODIST CHAPEL  
STATION ROAD  
BURNHAM MARKET.

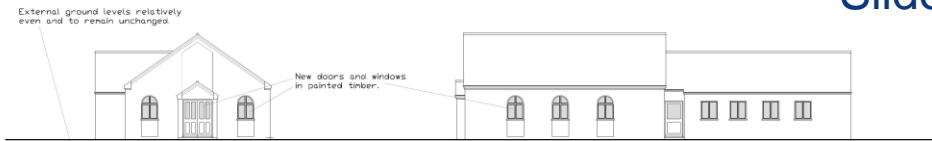
EXISTING  
PLANS AND ELEVATIONS.

APRIL 2023 | 1G08-01

58



GROUND FLOOR PLAN 1:50.



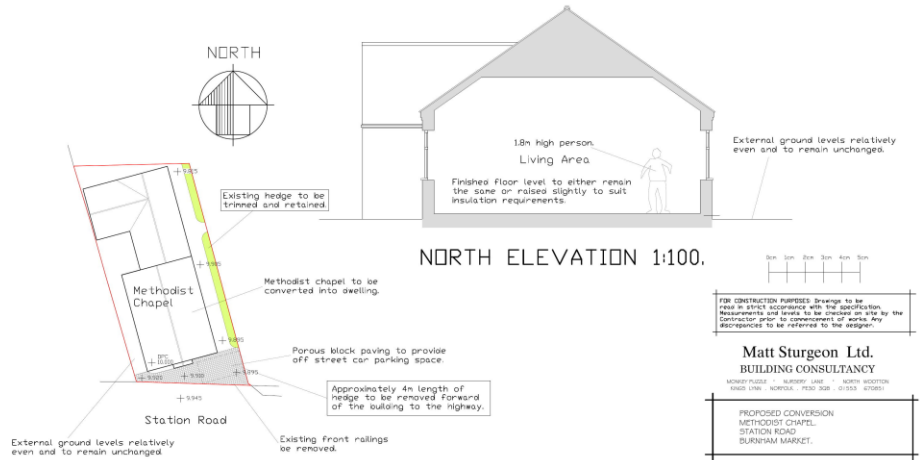
SOUTH ELEVATION 1:100.

EAST ELEVATION 1:100.

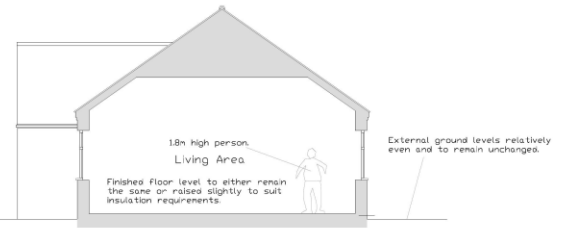


NORTH ELEVATION 1:100.

WEST ELEVATION 1:100.



SITE PLAN 1:200.



NORTH ELEVATION 1:100.

FOR CONSTRUCTION PURPOSES DRAWINGS TO BE READ IN STRICT ACCORDANCE WITH THE APPLICATION. MEASUREMENTS AND LEVELS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT.

**Matt Sturgeon Ltd.**  
BUILDING CONSULTANCY  
MONEY FIELDS - 18, ROSEY LANE - NORTH WOOTTON  
NORFOLK - NORFOLK - IP20 3BB - 01323 470591

PROPOSED CONVERSION METHODIST CHAPEL STATION ROAD BURNHAM MARKET.	
PROPOSED: PLANS AND ELEVATIONS.	
APRIL 2023	1/008-02.c

a. 09A23: Issued and prepared for Planning Application.  
b. 15E23: Hedge amendment added.  
c. 05E23: 4m length unclassified to hedge removed.

59



Front boundary of the site, as viewed from Station Road,  
looking north

60



61



62



63



64



Eastern boundary and rear elevation looking south.



65



Western boundary and elevation.



65



Western boundary and neighbouring dwelling.

67



23/00760/F

68



Clause	Comments
14.1.1	See clause 14.1.1.1 and 14.1.1.2
14.1.2	See clause 14.1.2.1 and 14.1.2.2
14.1.3	See clause 14.1.3.1 and 14.1.3.2
14.1.4	See clause 14.1.4.1 and 14.1.4.2
14.1.5	See clause 14.1.5.1 and 14.1.5.2
14.1.6	See clause 14.1.6.1 and 14.1.6.2
14.1.7	See clause 14.1.7.1 and 14.1.7.2
14.1.8	See clause 14.1.8.1 and 14.1.8.2
14.1.9	See clause 14.1.9.1 and 14.1.9.2
14.1.10	See clause 14.1.10.1 and 14.1.10.2
14.1.11	See clause 14.1.11.1 and 14.1.11.2
14.1.12	See clause 14.1.12.1 and 14.1.12.2
14.1.13	See clause 14.1.13.1 and 14.1.13.2
14.1.14	See clause 14.1.14.1 and 14.1.14.2
14.1.15	See clause 14.1.15.1 and 14.1.15.2
14.1.16	See clause 14.1.16.1 and 14.1.16.2
14.1.17	See clause 14.1.17.1 and 14.1.17.2
14.1.18	See clause 14.1.18.1 and 14.1.18.2
14.1.19	See clause 14.1.19.1 and 14.1.19.2
14.1.20	See clause 14.1.20.1 and 14.1.20.2
14.1.21	See clause 14.1.21.1 and 14.1.21.2
14.1.22	See clause 14.1.22.1 and 14.1.22.2
14.1.23	See clause 14.1.23.1 and 14.1.23.2
14.1.24	See clause 14.1.24.1 and 14.1.24.2
14.1.25	See clause 14.1.25.1 and 14.1.25.2
14.1.26	See clause 14.1.26.1 and 14.1.26.2
14.1.27	See clause 14.1.27.1 and 14.1.27.2
14.1.28	See clause 14.1.28.1 and 14.1.28.2
14.1.29	See clause 14.1.29.1 and 14.1.29.2
14.1.30	See clause 14.1.30.1 and 14.1.30.2
14.1.31	See clause 14.1.31.1 and 14.1.31.2
14.1.32	See clause 14.1.32.1 and 14.1.32.2
14.1.33	See clause 14.1.33.1 and 14.1.33.2
14.1.34	See clause 14.1.34.1 and 14.1.34.2
14.1.35	See clause 14.1.35.1 and 14.1.35.2
14.1.36	See clause 14.1.36.1 and 14.1.36.2
14.1.37	See clause 14.1.37.1 and 14.1.37.2
14.1.38	See clause 14.1.38.1 and 14.1.38.2
14.1.39	See clause 14.1.39.1 and 14.1.39.2
14.1.40	See clause 14.1.40.1 and 14.1.40.2
14.1.41	See clause 14.1.41.1 and 14.1.41.2
14.1.42	See clause 14.1.42.1 and 14.1.42.2
14.1.43	See clause 14.1.43.1 and 14.1.43.2
14.1.44	See clause 14.1.44.1 and 14.1.44.2
14.1.45	See clause 14.1.45.1 and 14.1.45.2
14.1.46	See clause 14.1.46.1 and 14.1.46.2
14.1.47	See clause 14.1.47.1 and 14.1.47.2
14.1.48	See clause 14.1.48.1 and 14.1.48.2
14.1.49	See clause 14.1.49.1 and 14.1.49.2
14.1.50	See clause 14.1.50.1 and 14.1.50.2

**LEGEND:**  
 Lidl Site Area (2.09 Acres / 0.846 Hectares)  
 +26.94 Existing Levels  
 +25.50 Proposed Levels

**LIDL foodstore**  
 Store Name - Lynn Road  
 Sales area - 1,424 sqm  
 Total GIA - 2,391.9 sqm

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 This drawing is copyright of WSC Group Ltd. It is not to be used for any other purpose without the written permission of the Architects. This drawing must be read in conjunction with all other related drawings and documentation, it is the contractor's responsibility to ensure full compliance with the Building Regulations. Do not scale from this drawing, use figured dimensions only. It is the contractor's responsibility to check and verify all dimensions on site. Any discrepancies to be reported immediately.  
 IF PRODUCT ASK  
 Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be detrimental to health & safety must not be used or specified on this project.



**NOTES:**  
 The sketch proposals shown have been produced using Ordnance Survey data as a base and will be subject to further specialist design from Structural, Highways and Mechanical Engineers. These proposals will also be subject to a detailed cut and fill exercise, stats, TPOs, etc.

W	13.96.17	Approx. fence retained, ash to road	DU	DC
L	16.96.17	Iron fence retained <th>DU</th> <th>DC</th>	DU	DC
E	25.00.17	Area fence retained <th>DU</th> <th>DC</th>	DU	DC
J	18.00.17	Iron fence retained <th>DU</th> <th>DC</th>	DU	DC
H	28.04.17	Area fence retained to be site <th>DU</th> <th>DC</th>	DU	DC

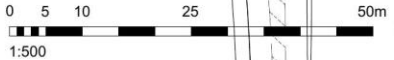
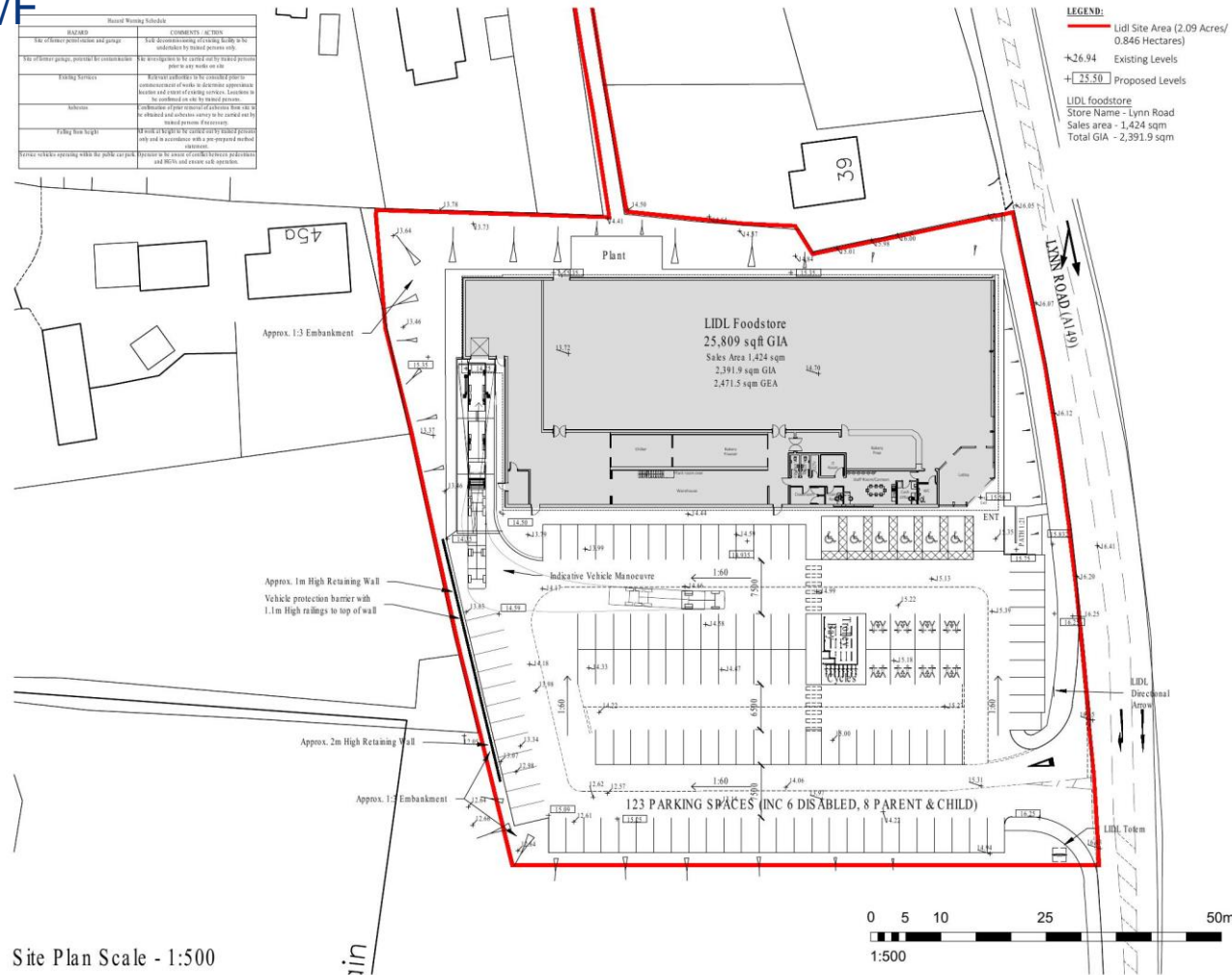
Drawn By: [Name]  
 Checked By: [Name]  
 CLIENT: Lidl UK GmbH

PROJECT: Heacham, Lynn Road  
 TITLE: Proposed Site Plan

DRAWING STATUS: Planning  
 DRAWN: DG CHECKED: DC  
 SCALE: 1:500 @ A3  
 DATE: 10/05/17

Whitlam Cox ARCHITECTS  
 Chesterfield / 01246 296264  
 London / 020 3888 0029  
 Leeds / 0113 3888004  
 whitlamcox.com

JOB NO: 15-333 DRAWING NO: PL-03 REV: M



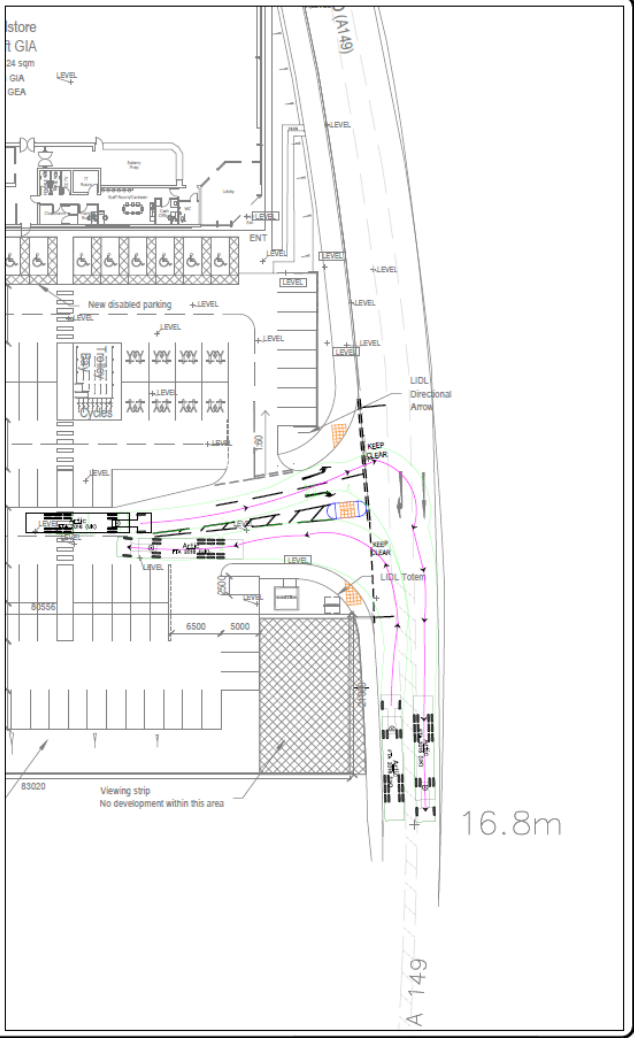
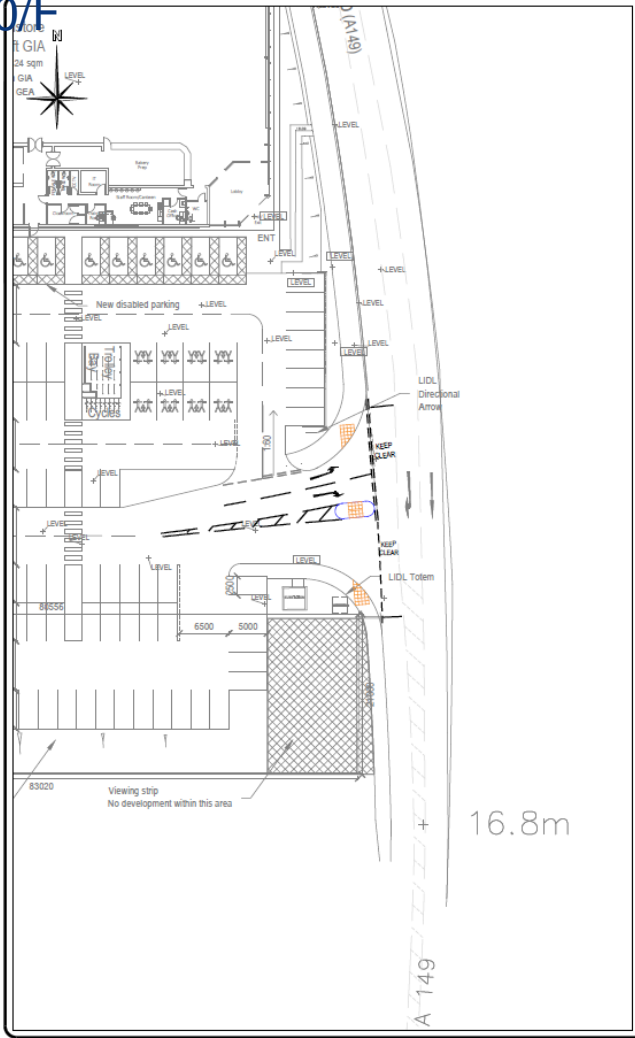


23/00760/F

Slide No: 70



71



Notes:  
 1. All dimensions are to be checked on site before the start of any works. Any discrepancies are to be reported to the Architectural Services team for verification. Figured dimensions only are to be taken from this drawing.  
 2. This drawing is to be read in conjunction with all relevant Engineers' and Services Engineers' drawings and specifications. This drawing is copyright.

Rev	Date	Description	TC	MC	Ckd	By
A	18/10/23	Amendment to existing highway				

**Cora<sup>Hi</sup>**

Atkinson House, Town Business Park  
 Wilton Road  
 Manchester  
 M20 2YF  
 Tel: 0161 956 4622  
 Email: manchester@corahit.com  
 Web: www.corahit.com

Client  
 Lidl Great Britain Ltd.

Project  
 Lynn Road  
 Heacham

Title  
 Access Arrangement

Drawing Status

Job No: 16-1149

Drawn	Checked	Scale at A3	Date	Issue Date
LB	TC	1:500	22/08/23	-

Drawing No:	101		A
-------------	-----	--	---

72



73



Facing north

74



Facing north





Facing west



76

Facing south





Facing southwest

78



Facing north from existing access



80



Facing east from existing access



81



Facing southeast from existing access

82



Facing south from existing access



Facing east over existing southern boundary



84



85



Facing west over existing southern boundary



86

Site and existing southern boundary

87



Site and existing southern boundary

88



View from rear of car park facing southeast







96



View from rear of car park facing west

91



View from rear of car park facing northeast

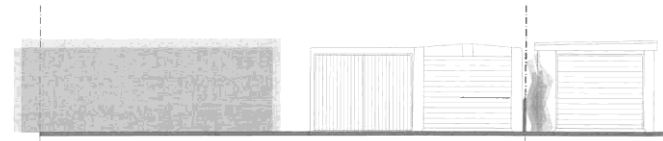
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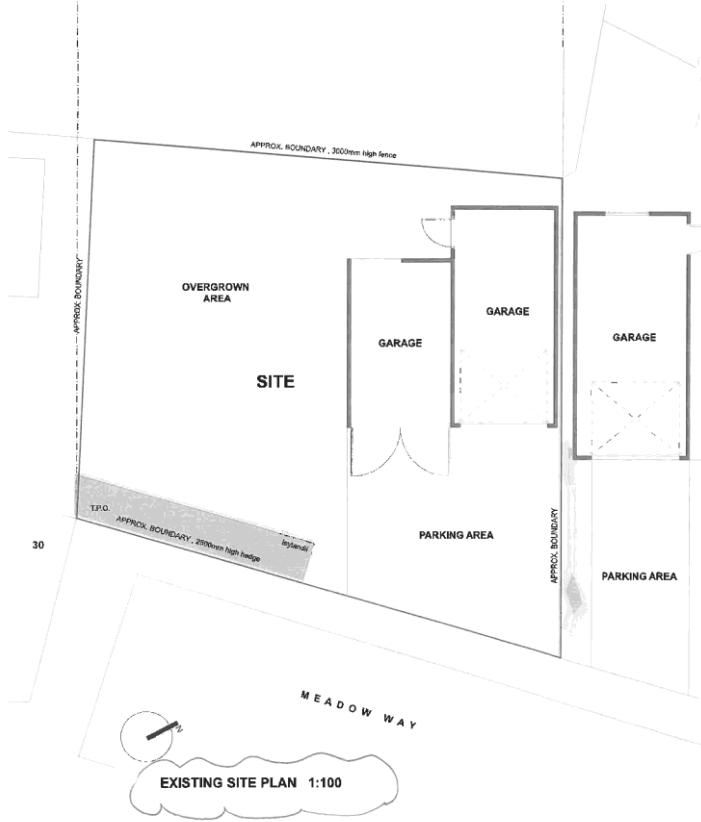
23/00586/F



94



EXISTING STREET VIEW : SOUTH EAST 1:100

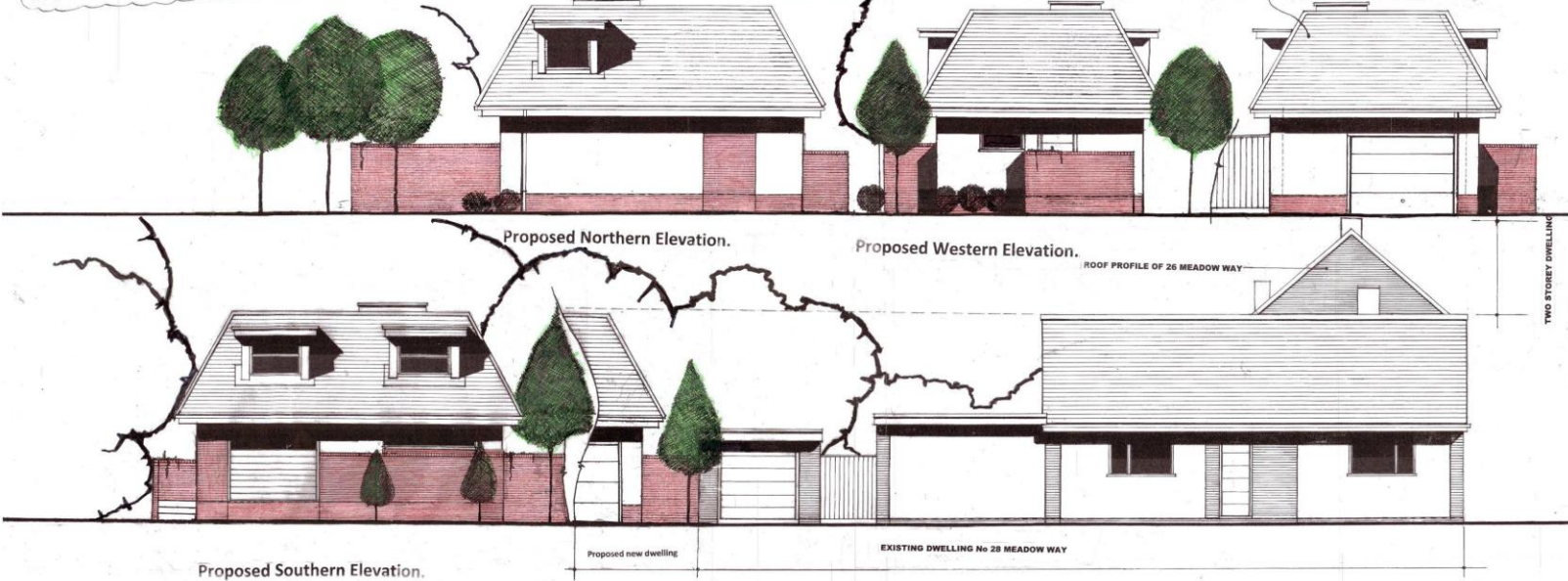


Revision:
Project: Proposed demolition of two garages and replacing with the erection of a private detached dwelling and associated works on land adjacent No 28 Meadow Way, Kings Lynn, Norfolk.
Description: Elevation, site and location plans
Client:
Date: January 2023
Scale: 1:50, 1:100 @ A1
<b>The Clarke Smith Partnership</b> Architectural & Planning consultants Unit 1, Chuck a Bush Farm Rogyan Road, Whitbread Cambridgeshire, CB22 4NW Tel: 01223 830989
Drawing: P-0078-01 Rev K B



REV A: MAY 2023 - TO SAIR ENVIRONMENTAL AGENCY REPRESENTATION. REVISION OF THE DRAWING SUBMITTED TO SHOW ANY IMPACTS AND MITIGATION MEASURES.

REV B: 01 OF 2023 - TO SAIR NEAREST NEIGHBOURS COMMENTS



PROPOSED STREET SCENE.

96

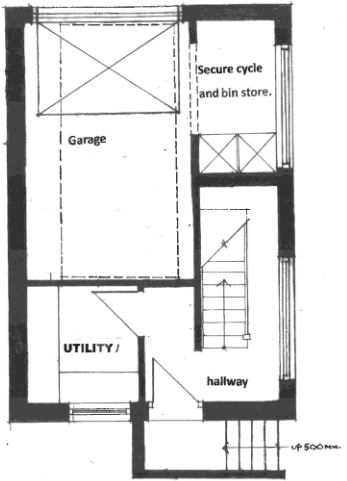


**Project.**  
 Proposed demolition of two garages and replacing with  
 The erection of a private detached dwelling and  
 Associated works on land adjacent  
 No 28 Meadow Way, Kings Lynn, Norfolk

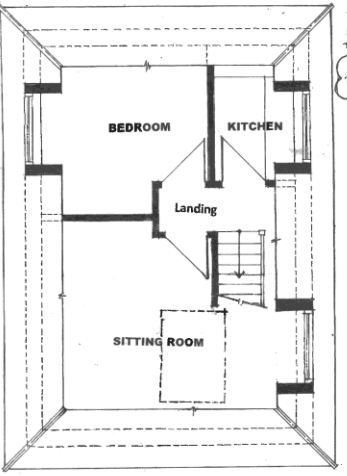
**Description.**  
 Proposed floor plans

**Date.** January 2023  
**Scale.** 1:50 @ A3

**The Clarke Smith Partnership**  
 Architectural & Planning consultants  
 Unit 1, Chuck a Bush Farm  
 Royston Road, Whittlesford  
 Cambridgeshire, CB22 4NW  
 Tel - 01223 - 830889



**PROPOSED GROUND FLOOR PLAN.**



**PROPOSED FIRST FLOOR PLAN.**

DRAWING No P-4078-02 REV A/B  
 REV A MAY 23  
 TO SUIT EA3 RECOMMENDATIONS  
 REV B OCT 2023  
 TO SUIT TREES OFFICERS CONCERNS.

96









Facing south



66



100



101



102



View of site including neighbour's garage

103



104



Facing north from site entrance





105

106



Opposite side of Meadow Way (east)



107



22/00641/F

108



Issue Date		
This drawing is copyright. Only signed drawings to be printed to.		
Issue	Drawn	Site
A	JDA	MDR
B	JDA	MDR

109



client <b>1st Self Storage Limited</b>		
project Site at: Edward Benefer Way Kings Lynn		
drawing Site Location Plan		
date March 22	scale 1:2500	sheet @ A4
drawn JDA	checked MDR	

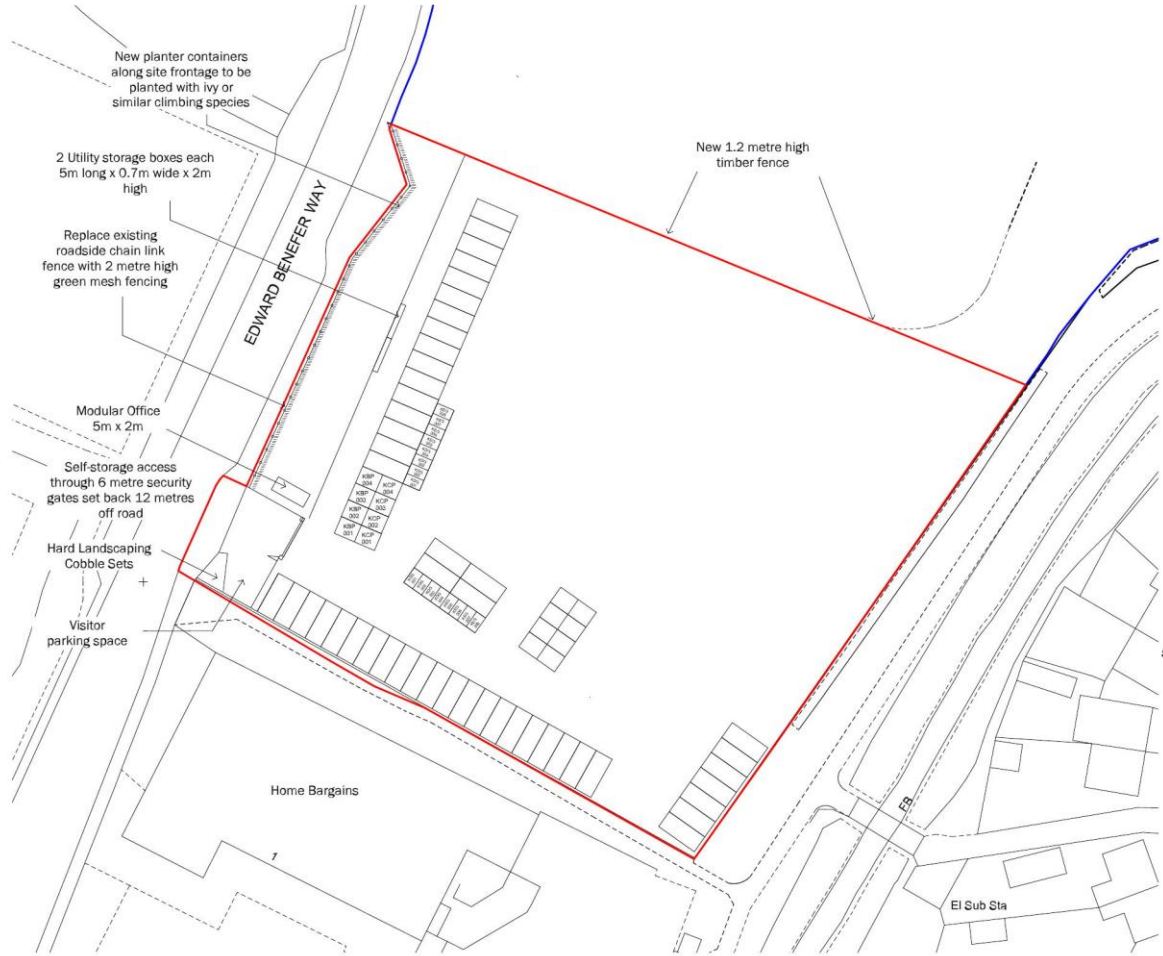


issued: 03/03/2022  
 drawn: 03/03/2022  
 checked: 03/03/2022  
 project: 23/00641/F  
 registered: 03/03/2022  
 registered: 03/03/2022  
 registered: 03/03/2022

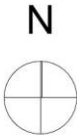
20	031956	001	B
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Planning Application			
This drawing is copyright. Only signed drawings to be worked on.			
Revision	Date	Drawn	Issue
A	Amendment to self-stow and details	JDA/MDR	Aug 23
B	Revision to visitor parking space	JDA/MDR	Mar 23
C	Client Revision	JDA/MDR	Nov 23



- 48 Full size containers
- 16 Half size containers
- 16 Quarter size containers
- 2 Utility boxes



SCALE 1:500

0 5 10 15 20 25m

Client		
1st Self Storage Limited		
Project		
Site at: Edward Benefer Way Kings Lynn		
Drawing		
Proposed Site Layout		
March 22	1:500	A3
JDA	MDR	
<b>ARCHITECTURE + PLANNING</b> www.brown-co.com		
Name: 01485 528711 20 Home Street & Co Registered Office: Stone Hill, Fiske Street, Swanton, Norfolk, NE31 9QZ Registration no: 00000000 - Registered in England & Wales	Reg No: 01485 528711 Swanton	01485 528711 01485 528711
20	031956	104   C

↑  
↑  
↑



View from SE corner of site – rear of Home Bargains



Structure to be removed



112





113





114

Main entrance point onto Edward Benefer Way

115



116



View southwards along site frontage onto Edward Benerfer Way

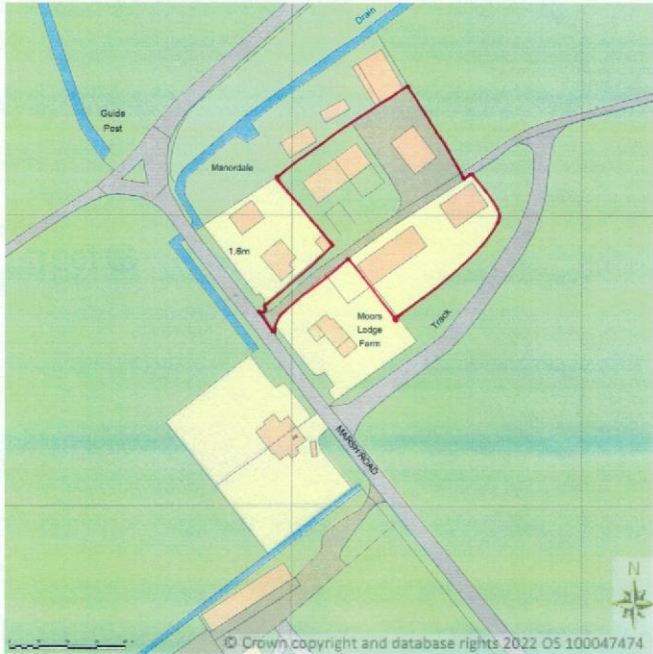
23/00540/F

117





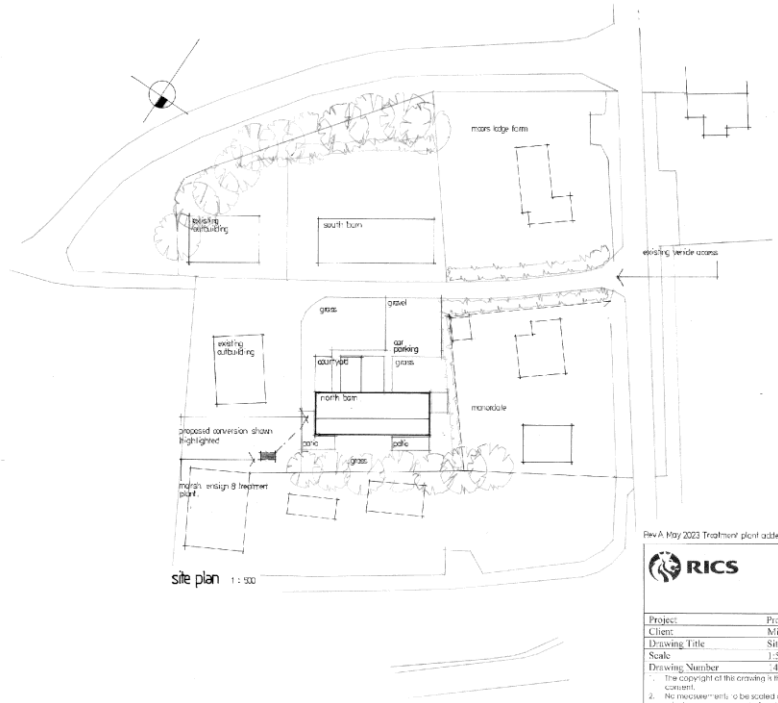
SITE LOCATION PLAN  
AREA 5 HA  
SCALE 1:1250 on A4  
CENTRE COORDINATES: 551913, 305561



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22/03/2023 07:52:42

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site plan 1:500

Rev A May 2023 Treatment plan added

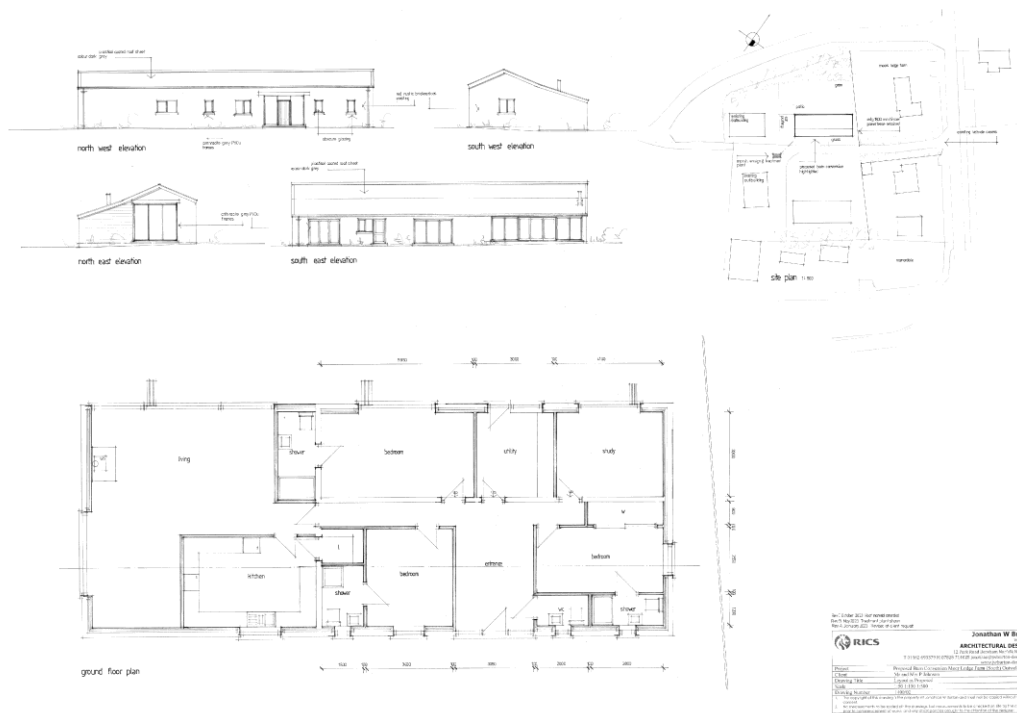
	<b>Jonathan W Burton</b> BSc MRICS	
	<b>ARCHITECTURAL DESIGN</b> 12 Park Road Dereham Norfolk NR19 3JF T 01362 993379 M 07820 744625 <a href="mailto:jonatan@jburton-design.co.uk">jonatan@jburton-design.co.uk</a> <a href="http://www.jburton-design.co.uk">www.jburton-design.co.uk</a>	
Project		Proposed Barn Conversion Moor Lodge Farm (North) Carwell
Client		Miss F Johnson & Mr A Cummins
Drawing Title		Site Plan
Scale		1:500
Drawing Number		401/03
<p>The copyright of this drawing is the property of Jonathan W Burton and must not be copied without written consent.          2. No measurements to be scaled off this drawing, but measurements to be checked on site by the contractor prior to commencement of works, and any discrepancies brought to the attention of the designer.</p>		







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<p>Architectural Design          RICS          Jonathan W Burton          ARCHITECTURAL DESIGN</p>	
Project:	Residential Conversion, Mill Lane, King's Lynn, Norfolk
Client:	Mr & Mrs J. & K. Burton
Location:	Mill Lane, King's Lynn, Norfolk
Date:	2013/05/20
Scale:	1:50
Drawn by:	JWB
Checked by:	JWB
Approved by:	JWB



Marsh Road street scene looking south east

123

Marsh Road street scene looking north west





124

Access track to site with neighbouring properties either side.



North barn viewed from site entrance



126

South barn viewed from site entrance



127

Mobile home situated at centre of the site



128

Mobile home situated at centre of the site





Two of the four caravans situated in north corner of site.



130

Other touring caravan on site



North barn viewed from east corner of site



132

North barn viewed from north corner of site



North barn viewed from west corner of site

134



South barn from east corner of site

135



South barn from south of the site



South barn with neighbouring dwelling in background



23/01632/CU





179 The Drove, Barroway Drove, Downham Market, PE38 0AL

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 556881,303270. Produced on 23 August 2023 from the OS National Geographic Database. Supplied by  
 UKPlanningMaps.com. Unique plan reference: p4e/uk/992247/1337064

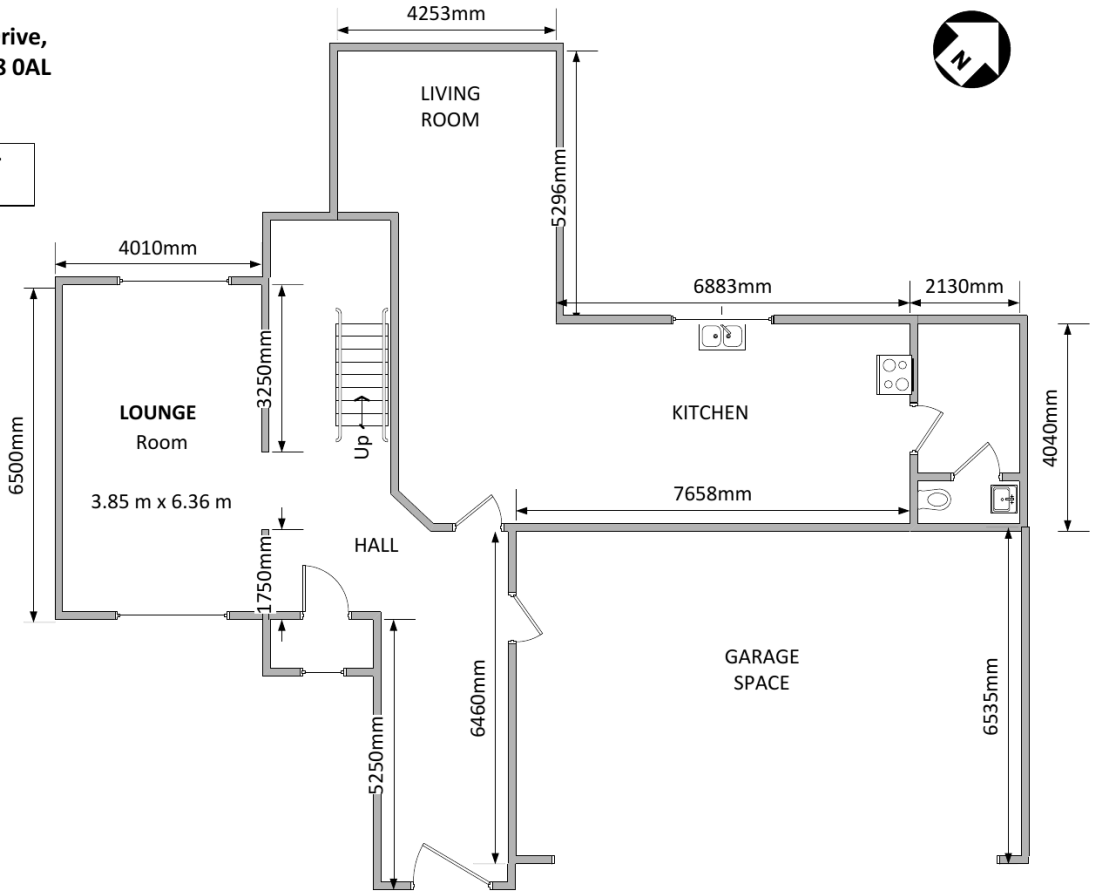


**GROUND FLOOR DIAGRAM**

The Drove, Barroway Drive,  
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor plans





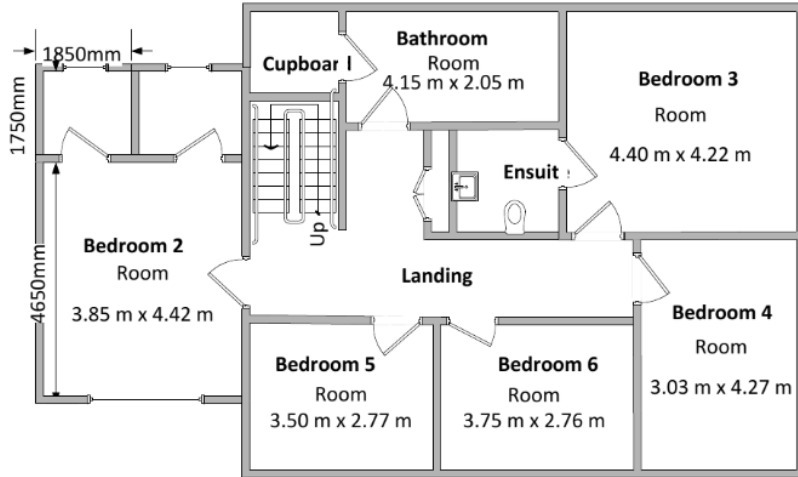
**FIRST FLOOR DIAGRAM**

The Drove, Barroway Drive,  
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor plans

140



**SECOND FLOOR DIAGRAM**

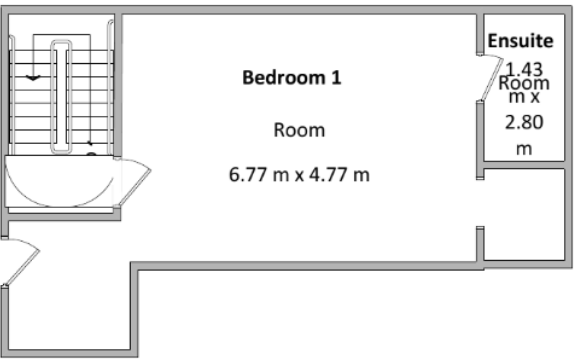
The Drove, Barroway Drive,  
Downham Market PE38 0AL

Scale 1:100

Existing and Proposed floor  
plans



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142



143



144





145



146



147



148



# Speakers Slides - Applicant

149





150



151

## About our short stay recovery houses



## What is a Short Stay Recovery House (SSRH)?

Our short stay recovery houses aim to provide a safe, supportive, space for people to manage a challenging time in their lives that has caused a decline in their mental health.

We offer a 5 night stay to support individuals with mental health in the hope to direct each person to the right support so they can move forward with their recovery journey.

152





## Why do we want to run the SSRH in a rural location rather than a town?

153

The rural location and house that we have chosen provides a calm, relaxing setting to help with people's recovery.

Within the house, we will create a warm, friendly environment for people who are experiencing a challenging time in their life.



## Will the SSRH bring a risk of increased crime and antisocial behaviour in the neighbourhood?

154

Prior to people arriving at our SSRH, they are thoroughly risk assessed.

We have three years' experience of running a Short Stay Recovery House near Norwich and we have robust processes in place. To date, we have had zero incidents of crime or antisocial behaviour.

We have a clear code of conduct which anyone who stays at the house must agree to prior to a referral being accepted.



## Will the SSRH increase road traffic usage with carers' shift patterns and people moving in and out of the property?

155

We can only do our utmost to reassure you that we will be considerate about car movements, parking and noise.

No one will come to stay or leave late into the evening. Most people who come to stay will arrive during normal office hours.

Our staff will be mindful and considerate of the neighbours and the local community.



**There are no local facilities or amenities, and nothing to encourage clients to become independent**

156

The people who will be benefiting from our service are local to the area, are already fully independent and will be returning to their own homes within the Downham Market area after their short stay.

They will be provided for within the Short Stay Recovery House and will not be reliant on local facilities or public transport.

We have already been invited to groups and activities taking place at the local village hall.



## Are there safety issues given that the house is next to an industrial site?

157

We have over 20 year's experience of operating short stay and residential housing for people requiring mental health support. We risk assessed the local area and property and have identified and mitigated any risks.

People staying with us will agree to the code of conduct and will not trespass on any areas that are private property.

We would like to reiterate that people who use the service will be responsible adults with their own homes, families and employment.



**There are local issues with drainage – are you confident that the drains will be able to cope with the number of occupants?**

158

Our Estates and Maintenance team has completed a survey of the premises and determined that it is fit for our intended purpose.

We have received draining and building plans, which detail that the property's drainage system will be sufficient.



## The property overlooks neighbouring properties and may intrude on the neighbours' privacy

159

We are happy to erect a fence or screen along the wall to stop anyone in the SSRH seeing directly into the neighbouring properties.

As a service we want to work alongside our community and we are happy to discuss with the neighbours to agree on fencing or screens to obscure the view into their gardens or property.



## Will SSRH residents be affected by the lack of public transport in the village?

160

No, we do not foresee that this will be an issue. We have considered transport while viewing suitable properties.

From our experience of operating a Short Stay Recovery House in Norwich, the people who stay with us want to engage with the staff team available within the home environment.





**Our road surfaces are already poor – how will they cope with an increase in traffic?**

161

We are aware that there are issues with road surface quality across the Fenland area. As a service we will not significantly increase the traffic, any more than if there were a family of six living at the premises.



## The Difference

↓ Reduction in GP appointments

↑ Mental health provision more accessible for all

↓ Relieving pressure on A&E Attendance

↑ Ensure the right service for the right person at the right time

↓ Relieving pressure on 111

↓ Reduction of people reaching crisis point

↓ Reduction in people being placed on 136 suite (place of safety in police custody)

↓ Reduction in use of blue light services

↓ Reduction of loneliness

↓ Reducing stigma around mental health

↓ Reducing mental health hospital administrations

↓ Reduce out of county placements



**In summary, we hope we have answered all your queries received to date.**

**I'm happy to take any further questions you may have.**



 **mind**  
Norfolk and  
Waveney



# END OF PRESENTATION

